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CONSU Date	Description DOB Submission Revision 1 (xxx.01) Revision 2 (xxx.02)
CONSU Date	Description DOB Submission Revision 1 (xxx.01)

HEET DESCRIPTION / DRAWING TITLE	
ROFESSIONAL SEAL / SIGNATURE	DRAWING SCALE
	DRAWN BY / CHECKED BY
	SHEET NUMBER
	PAGE OF PAGES

See A-022.00 for Energy Conservation Code Compliance Notes

STAMP

Energy Compliance Acknowledgement:

To the best of my knowledge, belief and professional judgement, these plans and specifications are in compliance with NYCECC.

Signed/Stamped by Architect or qualified representative

1 - ECC ACKNOWLEDGEMENT

ARCHITECTURAL DRAWINGS

A- 001.00	Cover Page:	Table of Contents, Zoning, Scope
A- 002.00	Legends:	Safety/Smoke/Abbreviations/Legends
A- 003.00	Site Plan:	Existing & New Site Plan, and, Survey
A- 004.00	Cellar Plan:	Existing & New
A- 005.00	Grd Floor Plan:	Existing Conditions and Scope of Demolition
A- 006.00	Grd Floor Plan:	New Construction and Misc. Components
A- 007.00	Elevations/Sections:	Existing/Demo & New Construction
A- 008.00	Upper Patio Details:	Light well, Hatch & Concrete Components, Sections
A- 009.00	Wall Opening Details:	(French Door) Sections/Elevation Details, Steel Angle Chart
A- 010.00	Addition Sections:	Footing, Foundation, Floor and Roof Details
A- 011.00	Misc. Details:	Reglet, Scupper, Downspout and Floor Transition Details
A- 012.00	Fence Elevation:	Fence Section/Elevation and Plan, from Backyard Side
A- 013.00	Fence Elevation:	East Fence Section/Elevation and Plan from Neighbor's Side
A- 014.00	Patio Plan:	Finished Patio Plan, Drainage and Notes
A- 015.00	Patio Slab, Fence:	Details of Fence and (Lower Patio) sub-slab topping for slope.
A- 016.00	Plumbing/Gas:	Diagrams and Notes
A- 017.00	Door Schedule:	Diagrams and Notes
A- 018.00	Wall/Ceiling Type:	Stud Walls, Joist Ceilings - Construction Class
A- 019.00	Wall Types:	Masonry, Stucco, Composite & Misc. Walls - Construction Class
A- 020.00	Specifications:	General Materials/Finishes
A- 021.00	Inspections:	Special Inspections & Notes, TR1 & TR8 Inspections
A- 022.00	Energy:	Energy Conservation Code Compliance Calculations

STRUCTURAL REFERENCES:

LINTELS-Addition A-010.00	Detail 1	Reinforced Lintels over Door/Window openings in Addition.
LEDGER-Addition A-007.00	Detail 4	Ledger & Bolts for Floor/Roof joist support in Addition
REBAR-Hatch A-006.00 A-009.00	Detail 2 Detail 3	Rebar Plan Layout of Hatch/Beam only. Rebar/Angle Section of Hatch Beam.
REBAR-Addition: A-006.00 A-006.00	Detail 5b Detail 7	Vertical Rebar Layout Addition and Garden Walls. Footing Rebar Layout Plan Diagram - Addition only.
FOOTING-Addition: A-006.00 A-010.00	Detail 7 Detail 2	Footing Rebar Layout Plan Diagram for Addition. Footing Rebar Section and Concrete Mix for Addition only.
MISC-Fence/Slab: A-012.00 A-015.00 A-015.00	Detail 1 Detail 1 Detail 2	Typical Fence Post Conc. Footing. Fence Post Angles. Typical Patio Slab Reinforcing Wire.

All related fields are embedded within the Architectural Drawings typical: Civil Drawings:

C-001.00 No separate set for this category, see A-003.00 Site Plan in Architectural Drawing set.

Demolition Drawings: DM-001.00 No separate set for this category, see A-005.00 Architectural Drawings for scope of Demolition/Notes.

Electrical Drawings: E-001.00 No separate set for this category, see Plan Detail 1, A-006.00 of Architectural Drawings.

Mechanical Drawings: M-001.00 No separate set for this category, see Plan Detail 1, A-006.00 of Architectural Drawings.

Plumbing Drawings: P-001.00 No separate set for this category, see A-016.00 of Architectural Drawings.

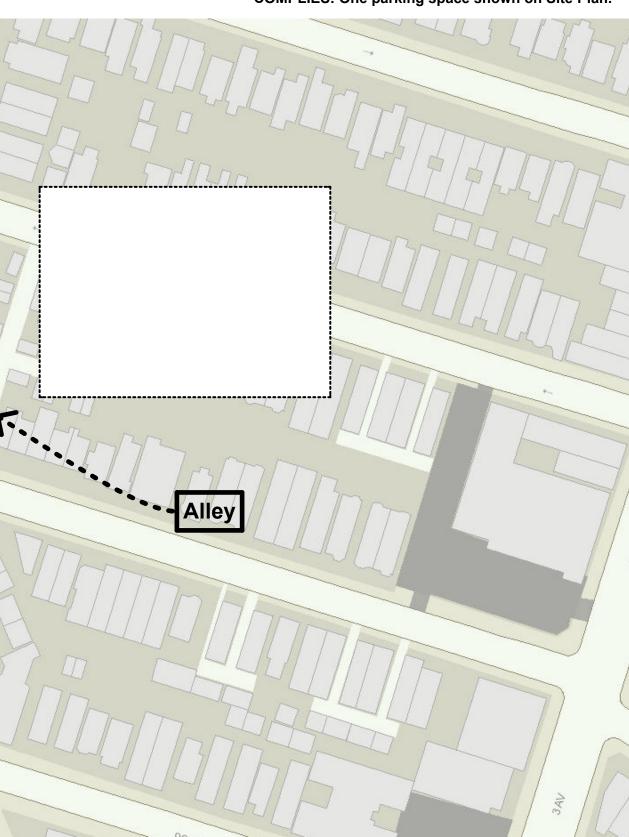
Structural Drawings: S-001.00 No separate set for this category, see above, A-001.00 for Structural Reference Table of Contents to verify structure.

Zoning Drawings: Z-001.00 No separate set for this category, see A-001.00 Architectural Drawings.

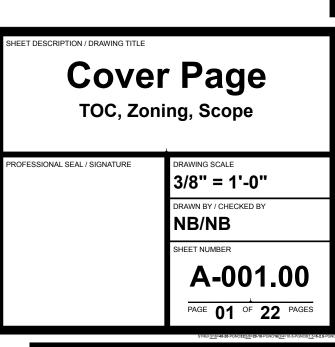
2 - TABLE OF CONTENTS

<text></text>	SPECIAL PURPOSE DISTRICT: BAY RIDGE (BR) Article XI Chapter 4: Special Bay Ridge District 114-11 Special Floor Area Regulations (not applicable). 114-12 Special Height and Setback Regulations (not applicable). 114-121 Special Rooftop Regulations (not applicable). 114-121 Special Rooftop Regulations (not applicable). 114-122 Maximum Building Height and Setback (not applicable). 114-122 Maximum Building Height and Setback (not applicable). END Conclusion: The provisions of the Special Bay Ridge District are not applicable to this project. COMPLIES ZONING.INEORMATION: Zoning: R4-1 Special Purpose District: Special Bay Ridge District Zoning Map: 22b; Historical Zoning Maps:22b	 Section 23-14. Section 23-142 for R4-1 Max FAR = .75 for R4-1 Lot = 1900 SF x.75 FAR = 1425 SF. Existing Footprint ± 19'x30'=570 SF/floor x 2 floors = 1140 Total Square Feet, Existing Floor Area. COMPLIES. This lot can accommodate another 285 SF. (1425 SF c. 1140 SF = 285 SF). Mis lot can accommodate another 285 SF. (1425 SF c. 1140 SF = 285 SF). Proposed: Bee Plan Detail 5, A-006.00 for dimensions of addition. 5'-4" (5.33') x 10'-8" (10.66') = 56.8 SF or 59 SF. COMPLIES. Max Yard Coverage percentage, and, Min. Required Open Space percentage: Not Applicable: Governed by Yard requirements. Section 23-23 Minimum Size of Dwelling Units (b) R4-1 = 925 SF min. for at least one dwelling unit. COMPLIES. 3-40 Yard Regulations: 2-40 Yard Regulations: (2) Arbors or trellises; Yard Setback = 30'. HOUSE PLUS ADDITION = COMPLIES. 	PROJECT NAME PROJECT LOCATION CLIENT CONTACT INFORMATION PROJECT TEAM
 of this project. 4. French Door and Window Well (light well) are NOT part of this project. Any reference to them should not be considered as part of the scope of this project. What may NOT be part of this project: 1. The portion of the lower patio, fence and parking space from the existing garage to the alley as noted on plans may be delayed until the start of the 'Garage Project' which is a separate DOB filing. 3 - SCOPE OF WORK 	Address:21894 STREET,BROOKLYN11209 Lot Area:1900 sf Lot Frontage:19'Lot Depth:100 Year Built:1925 Number of Buildings:2 Number of Floors:2 Gross Floor Area:1,216 sf (estimated) Residential Units:1Total # of Units:1 Land Use:One Family Buildings Landmark:No Historic District:No	 23-10 OPEN SPACE AND FLOOR AREA REGULATIONS R1 R2 R3 R4 R5 R6 R7 R8 R9 R10 In all districts, as indicated, the #open space# and #floor area# provisions for a #building or other structure# shall be as set forth in this Section, inclusive. Section 23-12. Permitted Obstructions in Open Space Permitted: (b) Awnings and other sun control devices. (Noted for Owner Future Option). (e) Driveways, private streets, open #accessory# off- street parking spaces, unenclosed #accessory# bicycle parking spaces or open #accessory# off-street loading berths, provided that the total area occupied by all these items does not exceed the percentages set forth in 	ARCHITECT & ARCHITECTURAL FIRM SimpleTwig [™] Architecture.llc Nicholas Buccalo, Architect 718-488-7894 526 Prospect Avenue info@SimpleTwig.com Brooklyn, NY 11215 www.SimpleTwig.com every nest starts with a simple twig NY License: 024197 FILING REPRESENTATIVE
NYC Department of Buildings Property Profile Overview Community Board : 310 Condo : NO Buildings on Lot : 2 Vacant : NO View DCP Addresses Browse Block View Challenge Results Pre - BIS PA View Certificates of Occupancy Cross Street(s): RIDGE BOULEVARD, 3 AVENUE DOB Special Place Name: DOB Special Place Name: DOB Building Remarks: Landmark Status: N/A Local Law: NO Loft Law: NO SRO Restricted: NO TA Restricted: NO UB Restricted: NO TA Restricted: NO		 Section 25-64 (Restrictions on Use of Open Space for Parking); (f) Eaves, gutters or downspouts, projecting into such "open space" not more than 16 inches or 20 percent of the width of such "open space", whichever is the lesser distance; CMPLIES: See Misc. Details, Detail 2, Option 1 are dimension. (h) Parking spaces, off-street, enclosed, #accessory#, to a #single-family#, #two-family# or three-#family residence#, provided that the total area ocupied by a #building# used for such purposes does not exceed 20 percent of the total required #open space# on the #zoning lot#. CMPLIES: One parking space shown on Site Plan. 	
Environmental Restrictions: N/A Grandfathered Sign: NO Legal Adult Use: NO City Owned: NO Additional BINs for Building: 3155430 Special District: BR - BAY RIDGE This property is not located in an area that may be affected by Tidal Wetlands, Freshwater Wetlands, Coastal Erosion Hazard Area, or Special Flood Hazard Area. Click here for more information 4 - DOB PROJECT INFORMATION Additional Sign: Additional Sign:			DATEDESCRIPTIONSUBMISSION TO DOB, PROJECT STARTAug 20, 2017REVISION 1 (xxx.01)REVISION 2 (xxx.02)REVISION 3 (xxx.03)REVISION 4 (xxx.04)
$\begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c} \begin{array}{c} \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} \end{array} \\ \begin{array}{c} \end{array} \\ \begin{array}{c} \end{array} \\ \end{array} $	95 ST		
95th STREET			SHEET DESCRIPTION / DRAWING TITLE COVER PAGE TOC, Zoning, Scope PROFESSIONAL SEAL / SIGNATURE DRAWING SCALE 3/8" = 1'-0" DRAWN BY / CHECKED BY NB/NB SHEET NUMBER A-001 00

5 - Location Plan - Tax Map Orientation based on floor plan orientation, typ. UNO.

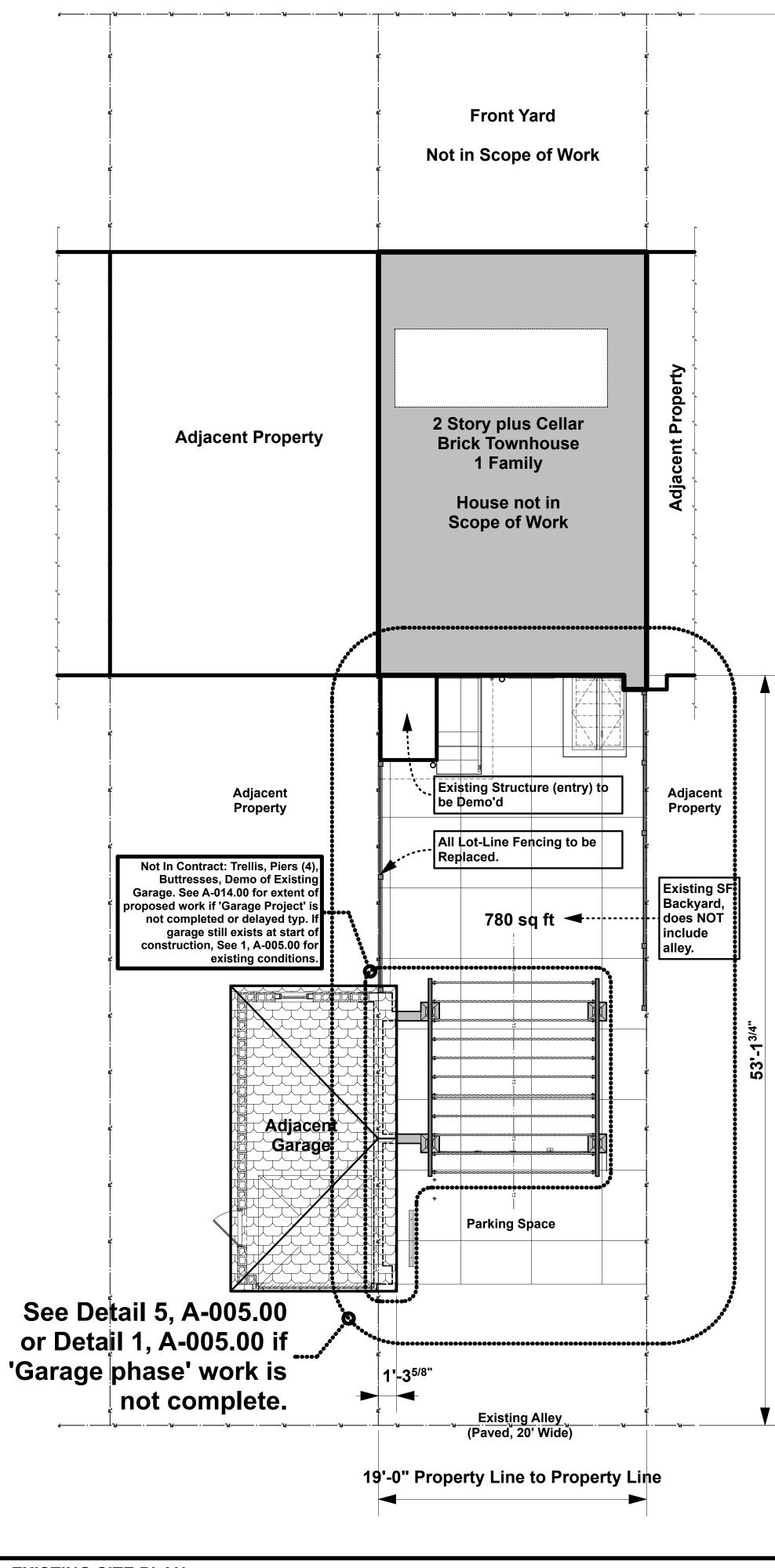


DATE	DESCRIPTION
	SUBMISSION TO DOB, PROJECT START
Aug 20, 2017	REVISION 1 (xxx.01)
	REVISION 2 (xxx.02)
	REVISION 3 (xxx.03)
	REVISION 4 (xxx.04)

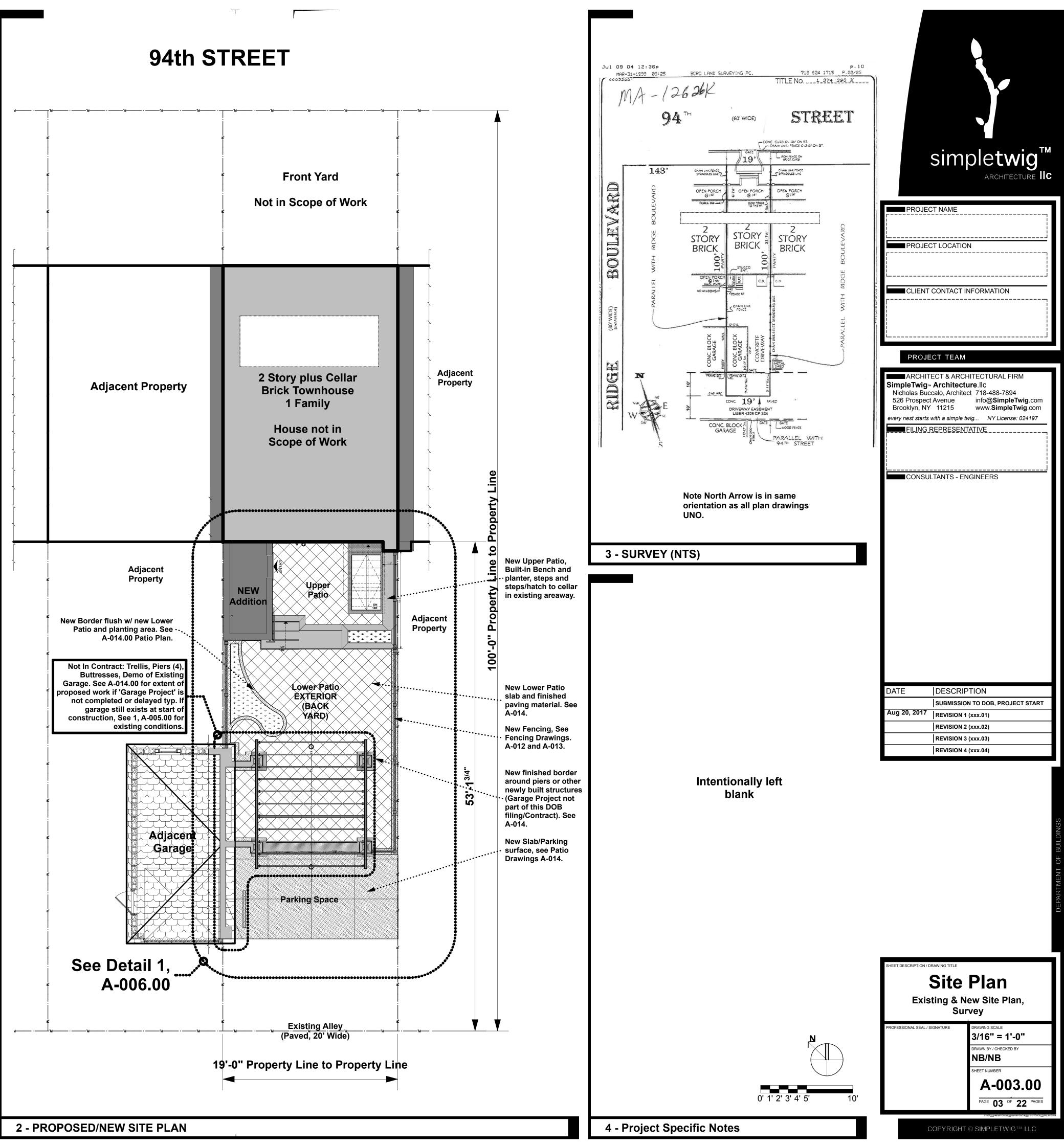


NOTE: Line weights used are relative to the scale of the drawing, but in general 4 lines weights are chosen for each scale/dwg as represented below:	Electrical Symbols:	EXISTING NEW CONSTRUCTION	ACST= AcousticalPLYWD= PlywoodABV= AbovePL= Property Line	Smoke Detector/Carbon Monoxide (C02) Detector	
	Switch - New or Relocated as Required. Single, Double.	General Wall Types as indicated on Exising and/ or Demo Floor Plans. General Wall Types as indicated on New/ Proposed (construction) Floor Plans.	ADH= AdhesivePRELIM= PreliminaryADJ= AdjustablePT= Pressure Treated (Lumber)APP= ApplicablePT= Pressure Treated (Lumber)	All Ne	
Lightest Weight Line: Reference Line Regular Line: Line representing an object.	 Switch - Existing, No change required. Single, Double. Utlet - New or Relocated as Required. Single, Double, Triplex, Quad. 	Existing walls to remain-No Fill Existing Walls to Remain: No	APT= ApartmentRA= Registered ArchitectAPPROX= ApproximateREV= Revision	SM-(
Cut Line: Line cut through an object.	$\oplus \oplus $	Fill. Some existing walls may remain on a New Floor Plan.	BLDG= BuildingRM= RoomBLKG= BlockingR.O.= Rough Opening (or RO)REQ'D= Required	Smo	
Profile Line: Special outline line, around an entire bldg.	Light Fixture - New or Relocated as Noted. Connections to switches	Existing walls for Demo-100% Fill	BLT-IN= Built-InBM= BeamSOV= Shut Off Valve (or S.O.V.)	A) Si B) Lit E	
	 and/or other light(s) as req'd, see plans. Must be UL approved. Light Fixture - Existing, No change required except connections to switches 	New Interior Partition/Stud Wall: 2x4 @ 16" OC w/ 5/8"	CAB= CabinetSST= Stainless SteelCLG= CeilingSTOR= Storage	C) Si s	t
Actual line and relative thicknesses used. Color references for consultants only.	and/or other light(s). Confirm UL rated and fixture is functioning properly typ.	Existing Masonry to Remain,	CL = Center Line CLST = Closet TEL = Tolgaphana	1. O	
Pen 1 — Pt 0.55-orange Reference Line	 Recessed Downlight - New Recessed Light Fixture. Wall Sconce - New Light Fixture. 	FireProof Construction. Masonry is indicated with a 45° angle hatch. New Interior 'Load-Bearing'	CER= CleanCONC= ConcreteTOB= Top of BeamCMU= Concrete Masonry UnitTOC= Top of Curb	2. In 3. In	simple twig ™
Pen 2 Pt. 1.00-dark yellow-green Line Pen 3 Pt. 1.50-green Line or Profile Line	Bathroom Vent - 40 cubic feet / minute flow UNO. Exhaust directly to exterior	Stud Wall : 2x4 @ 16" OC, 5/8" C GWB; Single Floor/Double Head Plates: Provide Lintels over	CT = Ceramic Tile TOS = Top of Slab TOW = Top of Wall	4. In t	ARCHITECTURE IIC
Pen 4 — Pt. 2.25-blue-green Profile Line or Cut Line	typ. In full bathrooms w/ tub/shower, use moisture resistant unit and duct.	WALL MODIFIERS openings. Provide Bracing between studs @ 4' OC.	D= DoorITP= TypicalDEMO= DemolitionUNO= Unless Noted OtherwiseDIA= DiameterUNO= Unless Noted Otherwise	e u 5 In	PROJECT NAME
Pen 5 — Pt. 3.00-blue Profile Line or Cut Line	Power and Meters Circuit Breaker Panel: location as noted on plan.	2 HR Fire Rated Stud Wall Indicator (CL of noted wall): This indicator line type will New CMU Masonry: (heavy fill line weight to indicate new construction)	DIM= DimensionVIF= Verify in Field (or V.I.F.)DS= DownspoutVIF= Verify in Field (or V.I.F.)DOB= NYC Department of BuildingsVCT= Vinyl Composition Tile		
Pen 6 — Pt. 4.13-black Cut Line	(↓ Electric Meter	appear at the center line of any wall type that is 2 Hr. Rated.	DWR = Drawer DW = Dishwasher W = Window	POW 6. R	PROJECT LOCATION
Pen 7 — Pt. 5.25-black Cut Line	Generation Gas Meter	2Hr and/or Bearing Wall Stud New Brick Masonry: (heavy fill	EA= EachW/= WithELEC= ElectricalW/D= Water Closet (Toilet)	7. S	
Pen 8 Pt. 7.50-grey Cut Line	Misc., Communication and Service		Elev = Elevation EQ = Equal	R R 8. St	
Pen 9 Pt. 10.0-grey Special Line Pen 10 Pt. 1.50-red General Arch. Ref. Line	Telephone - Existing or New. Size and Location as noted on plan. Coble Ready: Junction Rev: (provide full junction her) and as evial	any wall type that represents a bearing wall.	EQUIP = Equipment EST = Estimate E.W. = Each Way		
	Cable Ready Junction Box: (provide full junction box) and co-axial Connector. Connect to coaxial cable, one cable per junction box (no daisy chain) to Basement/Cellar Floor Mechanical Room Wall Mounted Box to serve		EXT'G = Existing	- INTE 9. W i	
General Line Types Symbolic Line Types All line types can have their meaning modified by the chosen line Specialty line types show the	each apartment. See Additional Notes on Specifications page, Detail 3.Thermostat: location to remain or adjust as required.	See Wall Types page, if provided, in this set for complete legend of specific Wall Types, details and notes.	FAI= Fresh Air IntakeAcronym GlossaryFD= Floor DrainWork Type AcronymsFDN= FoundationDialog		
thickness. For instance, a thin line might indicate a physical object while a thick solid line might indicate a profile or the cut plane of the drawing.	VENTS & DUCT Symbols:		FE= Fire ExtinguisherBL:BollerFIN= Finish, FinishedCC:Curb CutCH:CH:Chute		PROJECT TEAM
ID Ref. Name Description . property line, to physical architectural items on a plan.	Bathroom/Closet Exhaust Vent - 40 cfm minimum exhaust to exterior.	5 - WALL TYPE LEGEND	FL= FlashingDM:Demolition and RemovalFLR= FloorEQ:Construction EquipmentFOC= Face of ConcreteEW:Equipment Work	ACC 10. V	ARCHITECT & ARCHITECTURAL FIRM
MAIN LINE 2 Hour Fire-rated Assembly	Bathroom/Closet Exhaust Vent & Light Combination - 40 cfm minimum exhaust to exterior.		FOS= Face of StudsFA:Fire AlarmFPL= FireplaceFB:Fuel BurningFN:Fence		e SimpleTwig [™] Architecture.llc Nicholas Buccalo, Architect 718-488-7894 526 Prospect Avenue info@SimpleTwig.com
1 Solid Line Bearing Wall Assembly	 2 Hour Rated Stainless Steel Duct - See Specification Notes, Double Walled typ. 	Discipline Designators (Sheet Number Letter Indicators used): Pages will be listed in the Table of Contents, and ordered within a set of Construction Documents, in alphabetical order. Always refer to the Table of Contents to determine what drawings are part of a Construction Document set. Note that	FRMG= FramingFP:Fire SuppressionFT= Foot, FeetFS:Fuel StorageFURN= FurnitureMH:Mechanical/HVAC	11. v	Brooklyn, NY 11215 www. SimpleTwig .com every nest starts with a simple twig NY License: 024197
Represents a physical object, UNO. ABOVE LINE (before or in front of plane cut)	S S Round Duct - Toned is Vertical Duct. No tone with dashed lines is horizontal reference symbol. See 1, Line Types for example of horizontal.	Electrical 'E' drawings need not be submitted to the DOB and may be bound separately. PRIMARY DESIGNATORS AS REQUIRED: Aa*: Architectural: Proposed Design including Elevations, Sections, Details, Site Plans and/or as required.	GA = Gage OT: Other GA = Gage PL: Plumbing GALV = Galvanized, Galvanic SD: Standpipe SE: Scaffold	•••••	FILING REPRESENTATIVE
2 DashABOVE-1) Property Line (PL) PL	HVAC Symbols:	 Architectural: Plumbing Diagram, Specifications, Door/Window, Wall/Ceiling Schedules that relate to the project. Architectural: Code and ECC Compliance, Inspections, Street Scape and other requirements/inspections. Architectural: References including ADA, Misc. Code, Informed Owner and other project related information. 	GB= Grab BarSG:SignGC= General ContractorSP:Sprinkler	CAR (LL7	
3 DashABOVE-2 Centerline (CL)	Ceiling Fan - Existing or New. Size and Location as noted on plan. May	Ac: Architectural: Existing Drawings and Conditions, Reference. *EN: Energy Analysis (This is part of Architectural Set 'A' unless specified in Table Of Contents as 'EN'). *T: Title/Coversheet (not used, see first page of Architectural 'A' Drawings).	GFCI GWB= Ground Fault Circuit Interrupter Gypsum Wall Board (sheetrock)Legal Acronyms AC:Administrative Code	1. E N	
plane and are not in the direction one is looking. They generally represent soffits & other ceiling components.	or may not have fill on blades/motor.	 C*: Civil (only if a PE Civil Engineer is one of the project consultants, otherwise see 'A' Architectural Drawings) DM**: Demolition: Mandatory designation for plans showing full or partial demolition work. (These drawings may also show existing conditions for SimpleTwig projects). (While this 'DM' designation would be better suited under 	HC= HandicapAPPN:Admin Policy & Procedure NoticeHDR= HeaderBC:Building CodeHDD:Housing Preservation & Development	2. S 3. F	
Line Characteristics: The 'space' is the same length as the line.	Ac Air Conditioner - Represents either the entire unit, or part of a system	 'Ae' as it is completed by the Architect or Specialist, we will provide it as such since it is Mandatory, despite it adding additional pages to the project set and separating it from existing drawings). E*: Electrical (may be a separate set without DOB approval). M*: Mechanical (This is part of Architectural Set 'A' unless specified in Table Of Contents as 'M' denoting that this 	HDW= HardwareLL:Local LawHTR= HeaterLPPN:Legal Policy and Procedures NoticeHVAC= Heating, Ventilation & AirConditionMDL:Multiple Dwelling Law	4. N 4	
4 DashBELOW-3	as in the condenser only. See plan for notes and clarification. Radiator - Existing or New. Size and Location as noted on plan.	 Mechanical (1 his is part of Architectural Set A' unless specified in Table Of Contents as 'M' denoting that this project has a PE/MEP Mechanical Engineer Consultant). P*: Plumbing (This is part of Architectural Set 'A' unless specified in Table Of Contents as 'P' denoting that this project has a PE Plumbing Engineer Consultant). 	HW = Hot Water (Heater) NYC DEP: NYC Dept of Environmental Protection NYC RR: NYC Report Recommendations NYS DOH: New York State Department of Health	6. Al	
5 DashBELOW-4 X-Line (fence, railing, NTS)	Forced Air Heating/Cooling System - Existing or New, Heat Pump Type.	 S*: Structural: Drawings submitted for foundation work must use the designator FO. See FO designator. Z**: Zoning: Mandatory designation must be used for all zoning information and analyses. (While this 'Z' designation would be better suited under 'Az' as it is completed by the Architect or Specialist, we will provide it as such 	INSUL = Insulation NYS ECL: NYS Environmental Conservation Law OPPN: Operations Policy & Procedure Notice KIT = Kitchen PPN: Policy and Procedure Notice		
Short Dash indicate objects below/beyond the cut plane and are 'almost solid' (as in almost a solid line type) meaning one is looking at the object through a	Boiler or Furnace Heating System - Existing or New. Either Natural Gas or Oil Fuel.	since it is Mandatory). OTHER DESIGNATORS AS REQUIRED:	LAV = Lavatory RCNY: Rules of the City of New York RS: Reference Standard TPPN: Technical Policy and Procedure Notice	e See	
solid object. Line Characteristics: The 'space' is 1/2 the length of the dash. Note that the square does not indicate an actual post, but	HW Hot Water Tank - Existing or New. Size and Location as noted on plan.	 ANT: Antenna (Not Used) *B: Borings/Geotechnical: Includes subsurface investigations & soil tests filed with NB, Alt 1 and Alt 2 applications. BPP**: Builders Pavement Plans: Mandatory designation when paving plans are filed separately from all other work. 	MAX = Maximum M.O. = Masonry Opening Permit Type Acronyms	• ••••• MOU Takir	
MISCELLANEOUS represents either a fence type or whatever is represented. NTS.	Instant Hot Water Tank - Existing or New. Size and Location as noted on plan.	 CC**: Curb Cut: Mandatory designation when curb cuts are filed separately from all other work. EQ: Construction Related Equipment: Includes sidewalk sheds, fences and scaffolds. Mandatory when filing for construction equipment permits. *F**: Fire Suppression Systems: Mandatory designation when filing Fire Suppression System applications. 	MECH= MechanicalAR:ArchitecturalMEZZ= MezzanineEA:Earthwork	mour pc	or
6 Dash-5 (long) Line Type as required, usually for a Site Plan or other	3D Model Symbol 2D Graphic Symbol	 FA**: Fire Alarms: Mandatory designation for all fire alarm applications. FO**: Foundation: Mandatory designation whenever foundation work is filed. FPP**: Fire Protection Plan: Mandatory designation when Code requires a fire protection plan. 	MISC = Miscellaneous FO: Foundation MTL = Metal ME: Mechanical NP: No Plans PL: Plumbing	ELEC	
Image: Signal of the optimization	Small Condenser Unit - Existing or New.	 *G: General (not used on SimpleTwig projects). *H: Hazardous Materials (not used on SimpleTwig projects). PA**: Place of Assembly: Mandatory designation when filing separately for Place of Assembly 'C of Operation'. 	NA= Not ApplicableSH:Sidewalk ShedNO= NumberST:Structural	See circu circu Set, t	
8 Dot-2 Water Line		 SD**: Signs: This designation must be used when work is being filed separately for a sign permit. SOE**: Excavation: Includes: excavation, fill, underpinning, sheeting, shoring, bracing, piling, etc. Mandatory designation 	Building Type Acronyms	ask / appro	
Reference and/or relationship to other parts. Dot lines generally show references to other objects on a drawing, and generally connect the same object	Medium Sized Condenser Unit - Existing or New. ±2'-6" high UNO.	 when filing construction documents with support of adjoining properties & structures during construction. SP**: Sprinkler: Mandatory designation if sprinkler work is filed separately from other fire protection work. SSP**: Site Safety Plan: Mandatory designation when a site safety plan is required and filed with BEST. *X**: Other Disciplines: Mandatory designation when filing work in undesignated disciplines. Type of work must be 	O.C.= On Center (or OC)NB:New BuildingOFCI= Owner Furnished; GC InstalledAlt 1:AlterationOFOI= Owner Furnished & InstalledAlt 3:Alteration		
from a plan, elevation or section to each other, to emphasize they are in relationship to one another.	HVÁC UNIT Large HVAC Unit - Existing or New.	*National CAD standards. It is clear that the entity which created this list did not consider the extra confusion it causes by	OR = Owner's Representative Professional Acronyms	SAF oper	DATE DESCRIPTION SUBMISSION TO DOB, PROJECT START
9 Dash-Dot-Dot Alternative to the CL (Centerline line type) Electrical Line		making so many indicators for simple projects. Since * are not mandatory, SimpleTwig will modify these designators in order to ensure the set is grouped by actual Discipline and thus identify who is responsible for what content. ** Mandatory discipline designator.	PERF = Perforated PE: Professional Engineer PE = Professional Engineer RA: Registered Architect GC: General Contractor	ever See - roteonom page for more time.	Aug 20, 2017 REVISION 1 (xxx.01) REVISION 2 (xxx.02)
		Source: http://www.nyc.gov/html/artcom/downloads/pdf/bscan_plan_011509.pdf			REVISION 2 (xxx.02)
1 - LINE TYPE & STYLE LEGEND	3 - ELECTRIC & HVAC RELATED SYMBOLS	6 - DISCIPLINE (SHEET) DESIGNATORS REF.	8 - ABBREVIATIONS	10 - SMOKE & CO2 NOTES	REVISION 4 (xxx.04)
EMERGENCY / FIRE DETECTION Symbols:		CUT (Plan/Section) MATERIALS : GRAPHIC INDICATORS	FLOOR OPENINGS: All openings shall have Read & impliment all safety rules before		
EXIT Emergency Exit sign and LED Lighting: See signage page for	A Revision Marker	Brick Total Sq. Footage (Plan Only)	Sti Un	Tomporer clostricellings to be convert to	ER E.
 specifics. SM-C02 Smoke Detector & CO2 Detector Combo: Hardwired with battery backup. 	Window/Door Indicator: Numbered in sequence, starting with floor indicator: C=cellar; B=basement; 1=1st floor, etc. Example 1-3 is the 3rd	Block-CMU Dot & Dash (Material as Noted)	en we		DE ER ທ
Fire Alarm Pull: Interior Wall Mounted.	door on the 1st floor. Building & Unit Entrance: Numbered	Terra Cotta and/or Fire Brick Dash (Material as Noted)	Co		
Alarm Siren: Interior Wall Mounted.	ENTRY Match Line Symbol: Used when a drawing does not fit on a page and	Concrete Lightweight	an rei da		N DF BUI
Fire Hydrant: Exterior only. Fire Extinguisher: Individual Unit only.	MATCH LINE has to be split, the match line allows for alignment.	Concrete Structrual Triangle Mesh (Material as Noted)	en		
 Fire Extinguisher: Individual Unit only. Extinguisher Fire Extinguisher Cab.: Recessed Cab. 	0 2' 4' 6' Scale Symbol (or similar, see below)		SA inj wc		ARTM
Siamese Connection: Wall Mounted.	Column Line Indicator	Plaster/GWB Brick-English Bond	be		DEP
Stand Pipe: Interior Use.	Handicap Indicator: Used on parking spaces, signs, etc. indicates Handicap accessibility meeting ADA guidelines.	Rigid Insulation or Tile depending on scale.	PE wc ma		m sh
Hose Swing Rack: Wall Mounted.	Wall Type Indicator: Refer to 'Wall Types' page chart if provided. 'C'	Earth Brick, Block, Tile-Stacked Bond	gre en		
Fire Hose Fire Cabinet: Wall Recessed.	indicates columns, '4' indicates horizontal rows on chart.	Earth Brick-Herringbone on Edge	inc (tri		SHEET DESCRIPTION / DRAWING TITLE
Hose Reel Rack: Wall Mounted.	Elevation/Section Detail Indicator: Top number is Detail Number, the bottom number is the page number.	Grass/Planting Bed	su		Legends
NOTATION INDICATORS: Other indicators may be present on the plans, to note a series of similar items, like 'Light & Ventilation' requirements.	Indicates True North Indicates Drawing Reference North	Wood Block-Running Bond	ex ma	pn	Misc. Notes: Safety, Smoke/Co2, Abbreviations, and Legends
General Note — Elevation	N Indicates Drawing Reference North (in order to keep drawings orthographic to orientation of sheets).	FACE OF MATERIAL-Plan	su joi ar		PROFESSIONAL SEAL / SIGNATURE DRAWING SCALE
Important Note (bold). Floor Drain (FD) or Area Drain (AD)	North Symbol	Aluminum Tile: VCT, Natural or Ceramic	are Bu inf	R: Þ	S: 3/16" = 1'-0"
Special Note or Architect's Explanation Light Fixture Type: LED, Hal, Incad, etc.		Signature Wood Flooring or Siding Image: Brass/Bronze/Copper Image: Brass/Bronze/Copper Image: Brass/Bronze/Copper Image: Brass/Bronze/Copper		rs n n	g NB/NB
Special Note Stair UP/DN	Typical Scale Bar0' 1' 2' 3' 4' 5'10'Note that items drawn on this page	Subway Grate/Stack Pattern	pu wa	se	SHEET NUMBER
Special Note	(lines, fills, etc.) are to scale based on this scale bar.	25% Tone: Appliances, Cabinets, Fixtures, Equipment	'Si is preformed; to include metting from above the work area to the protective bridge itself.	loadbearingwarningsigns.com/purchase-signs/ #sthash.byPDufrg.fChHH5Xg.dpbs	PAGE 02 OF 22 PAGES
Revisio	4 - DRAWING REFERENCE SYMBOLS	o : 7 - FILL TYPES	9 - SAFETY NOTES, see Tenant Protection Plan on separate architectural drawin		STREFATE-4528 POINTE24-105 POINTE24-105 POINTE24-105 POINTE24-105 POINTE24-105 POINTE24-105 POINTE24-105 POINTE
2 - FIRE & NOTATION INDICATOR LEGEND					

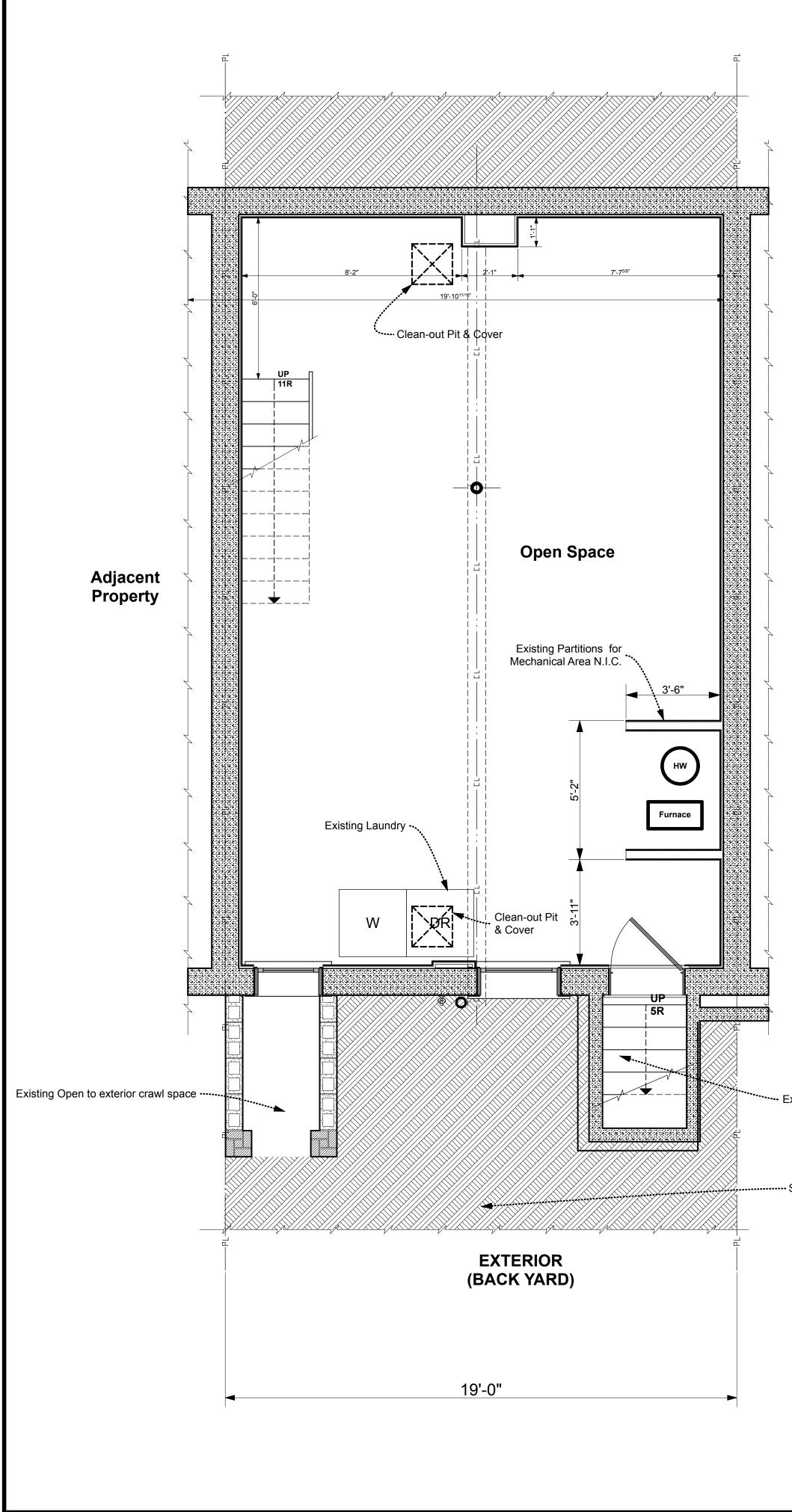
94th STREET

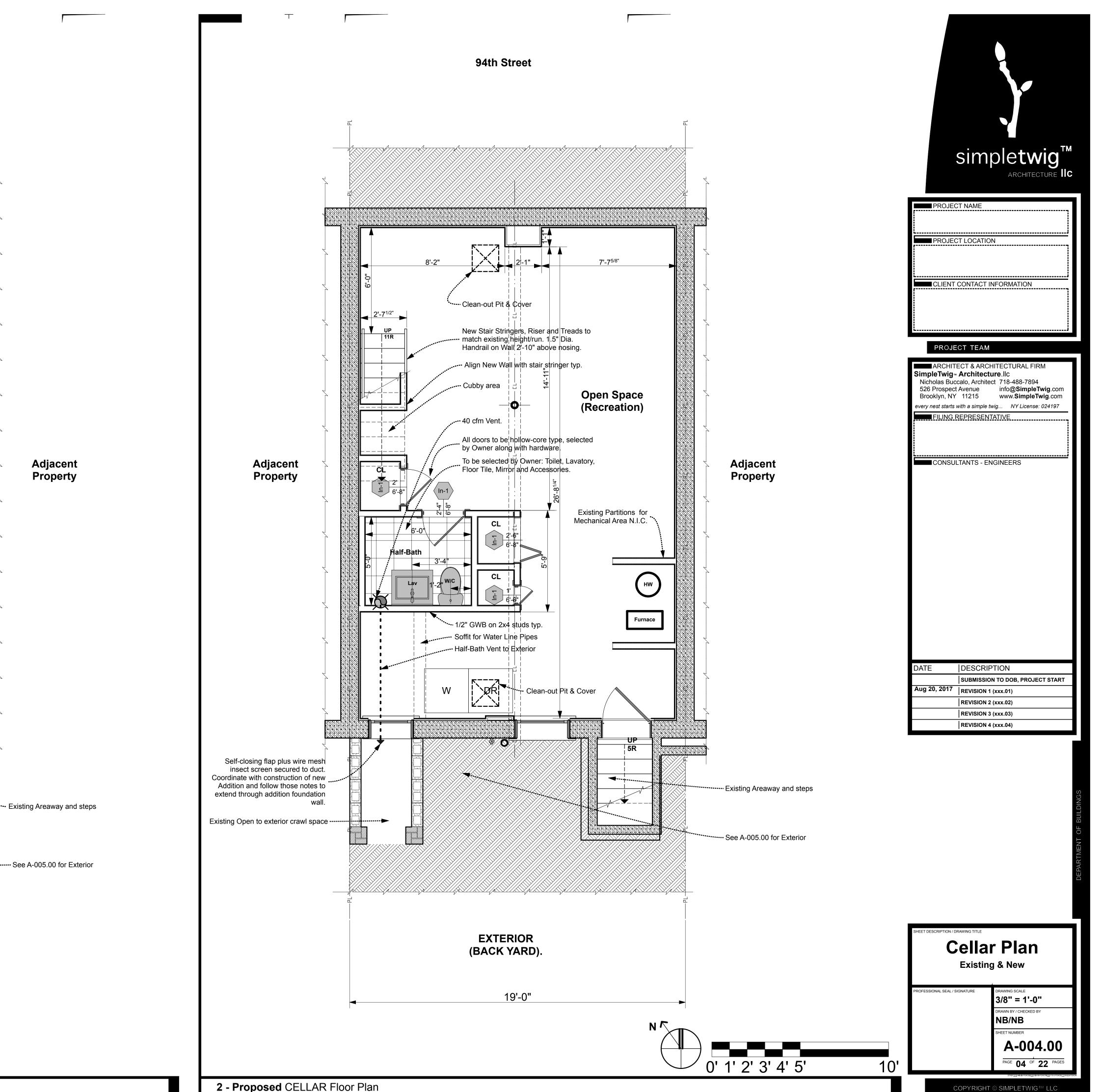


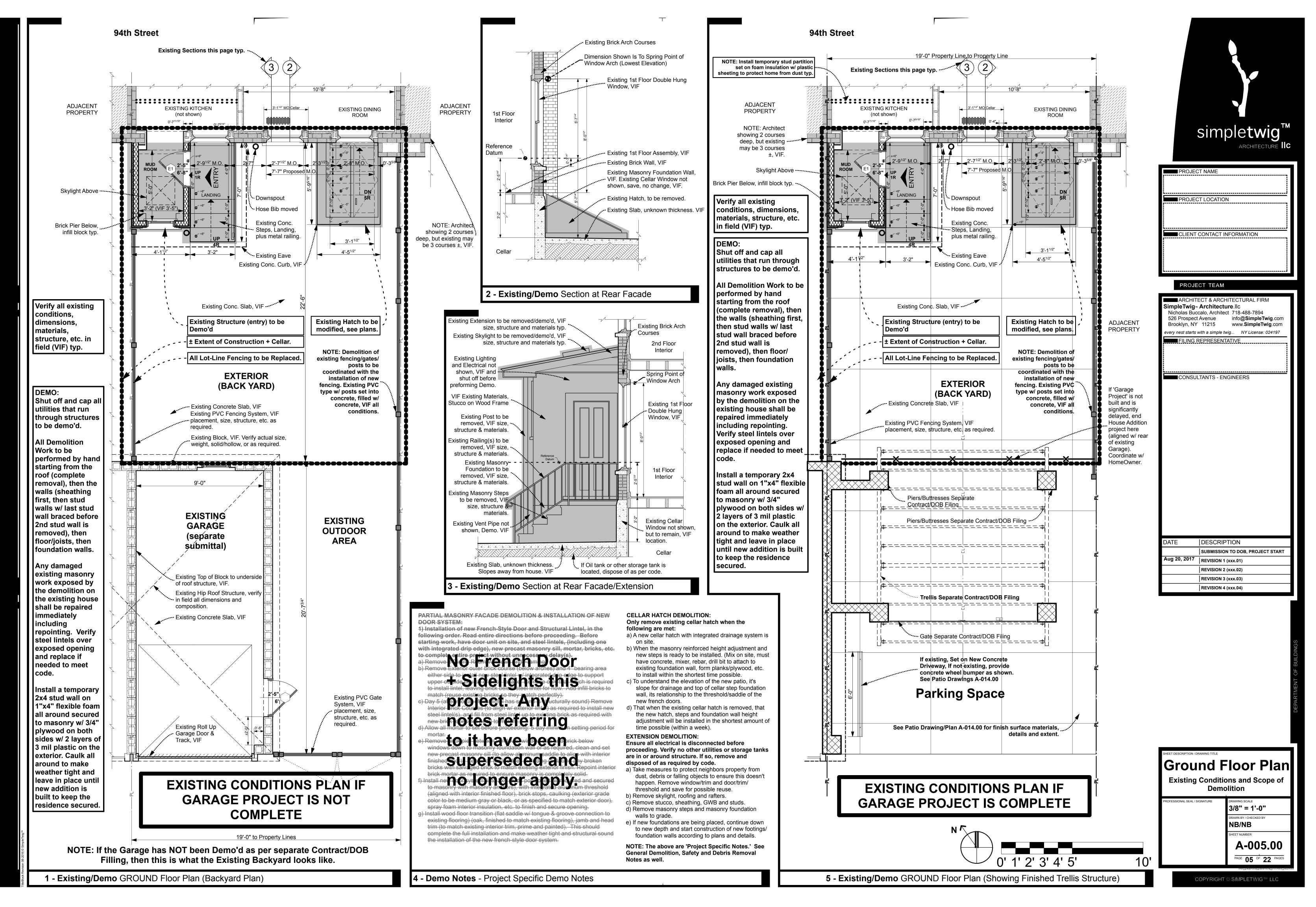


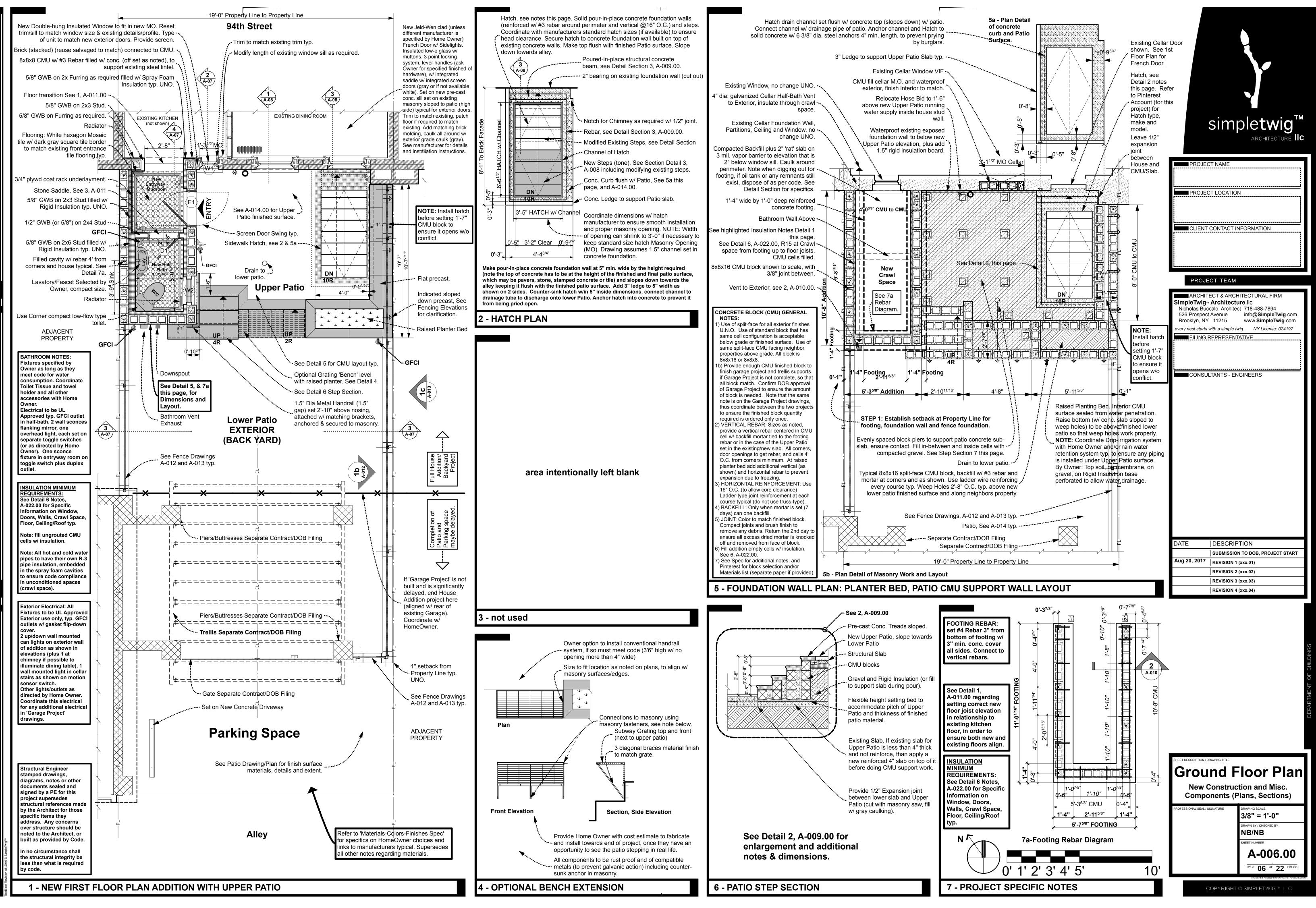


94th Street

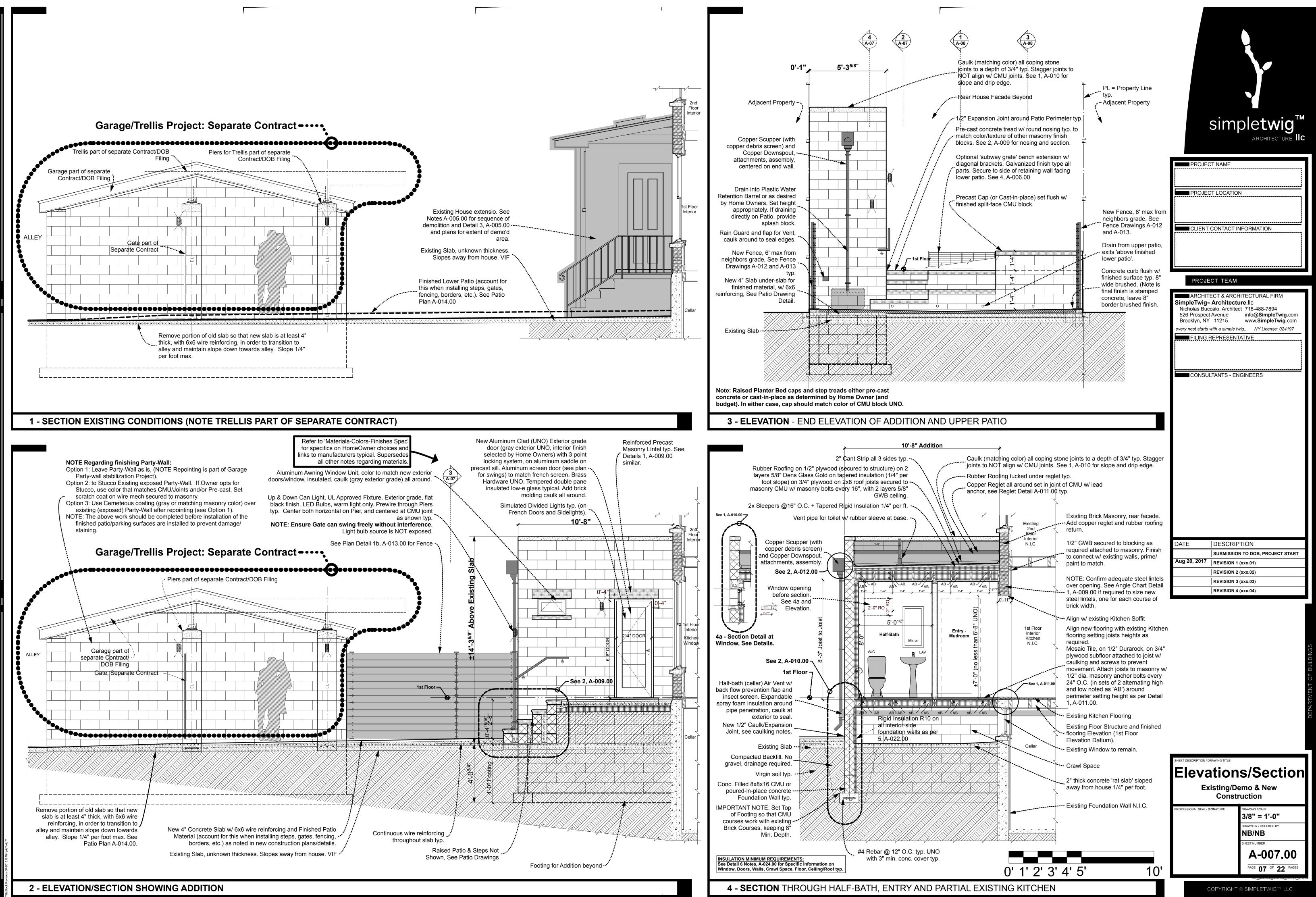


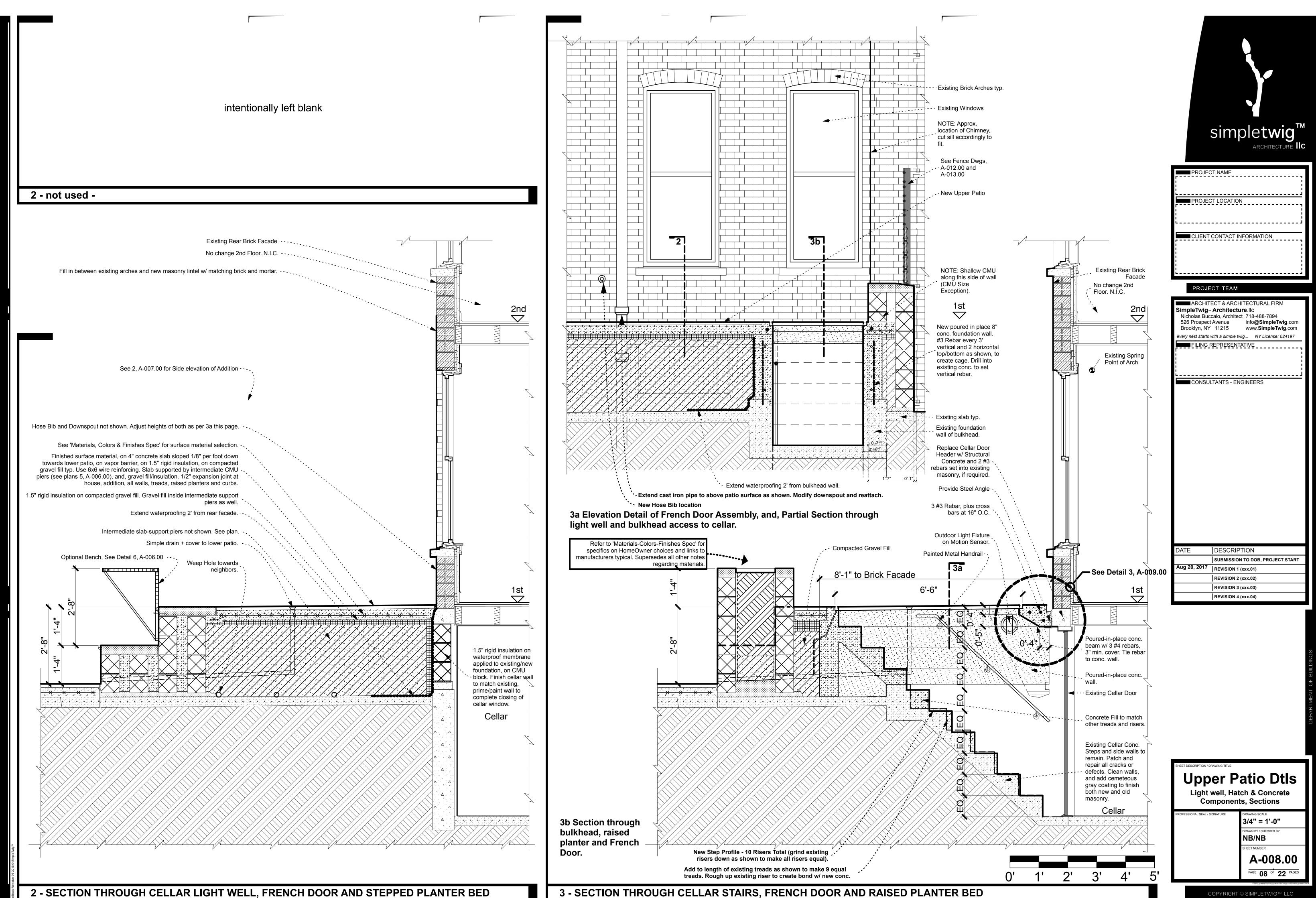






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1) All Double Angles shall be bolted together.

2) Long Leg of Angle to be vertical (*). 3) See other contract drawings for exact location of lintel angles.

4) Lintels as shown are for non-loadbearing walls only,

unplastered and unfinished (except painting) 5) Fill voids of blocks with cement mortar for two courses below lintel bearing.

6) For all openings in excess of 1'-0", but less than 3'-0", use 3" x 3" x 5/16" angles (number of angles as scheduled above). Use 5/16" steel plate for openings 1'-0" or less.

7) * = Unless otherwise noted on other contract drawings.

8) At Door Frames of framed (trimmed) openings where heads are reinforced, loose steel lintels may not be required. See Door & Frame Schedule (and Details) on other contract drawings for information regarding reinforced frame heads.

9) These Lintels allow for Arch Action. The Masonry Bond over an opening shall have enough strength to create a self-supporting corbeled arch. Only a small trangular area of the wall over an opening shall be actually dependent upon these lintels for support. The height of the triangle shall equal the width of the span. If Headers or Soldier Courses are used above Lintel, the triangle should be taken from the top of such courses, and not from the top of the opening.

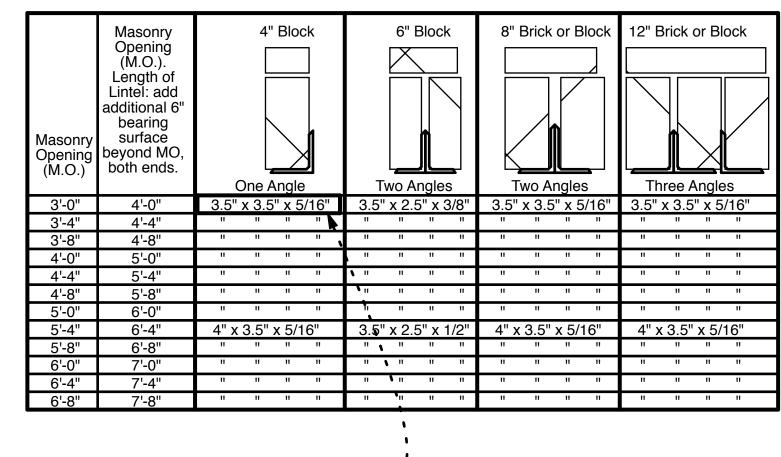
NOTE:

Lintels supporting masonry walls over a 4 feet in width shall be Fire Protected with Materials having the required Fire Resistance Rating of the wall supported. 27-326.

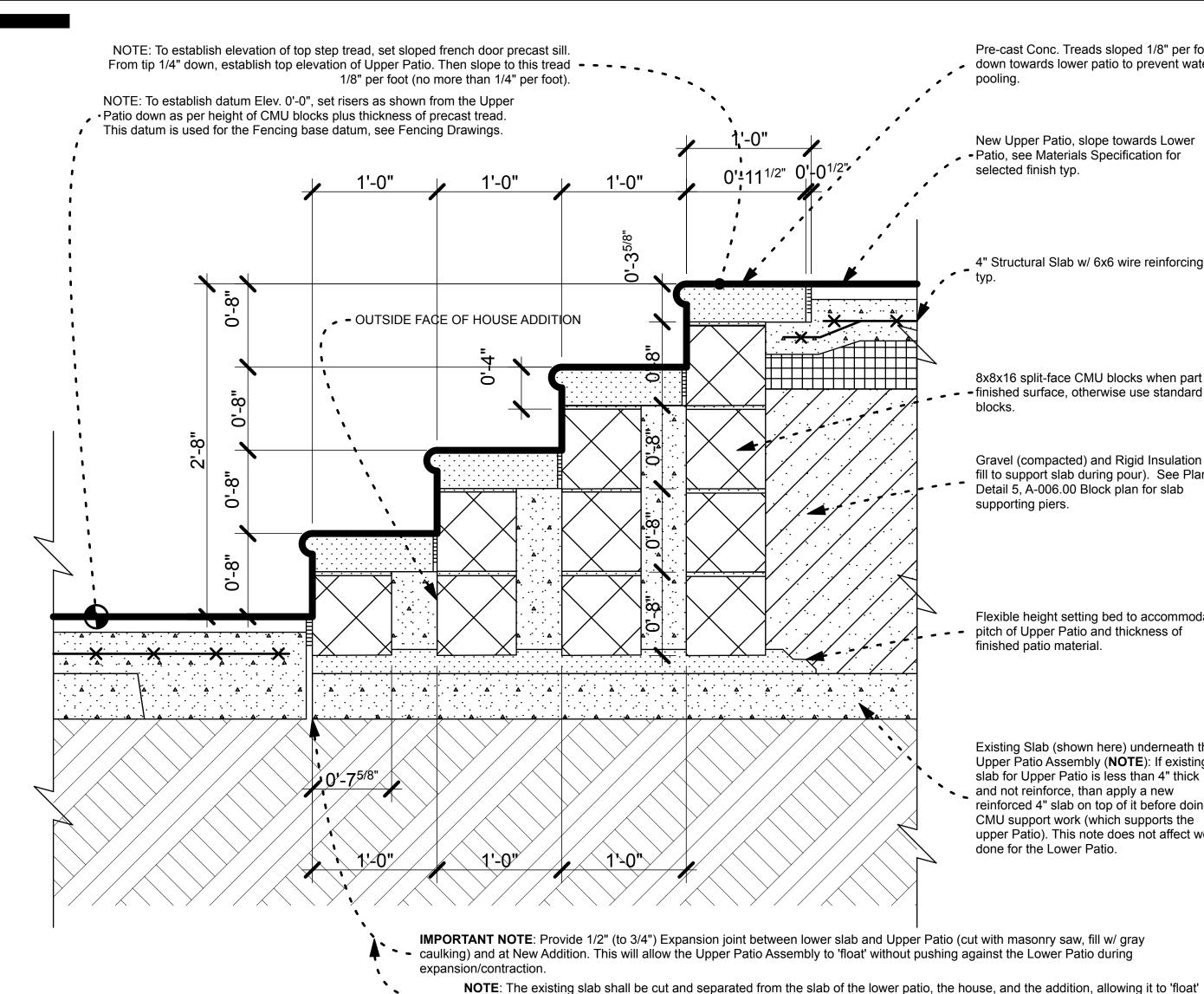
Architects Note:

Provide metal drip edge on outside edge of mtl angle to protect face and underside of steel from water dripping.

1 - STEEL ANGLE CHART AND NOTES



Above Basement door supporting Hatch Beam typ.



Pre-cast Conc. Treads sloped 1/8" per foot down towards lower patio to prevent water pooling.

New Upper Patio, slope towards Lower - Patio, see Materials Specification for selected finish typ.

4" Structural Slab w/ 6x6 wire reinforcing tvp.

8x8x16 split-face CMU blocks when part of - finished surface, otherwise use standard blocks.

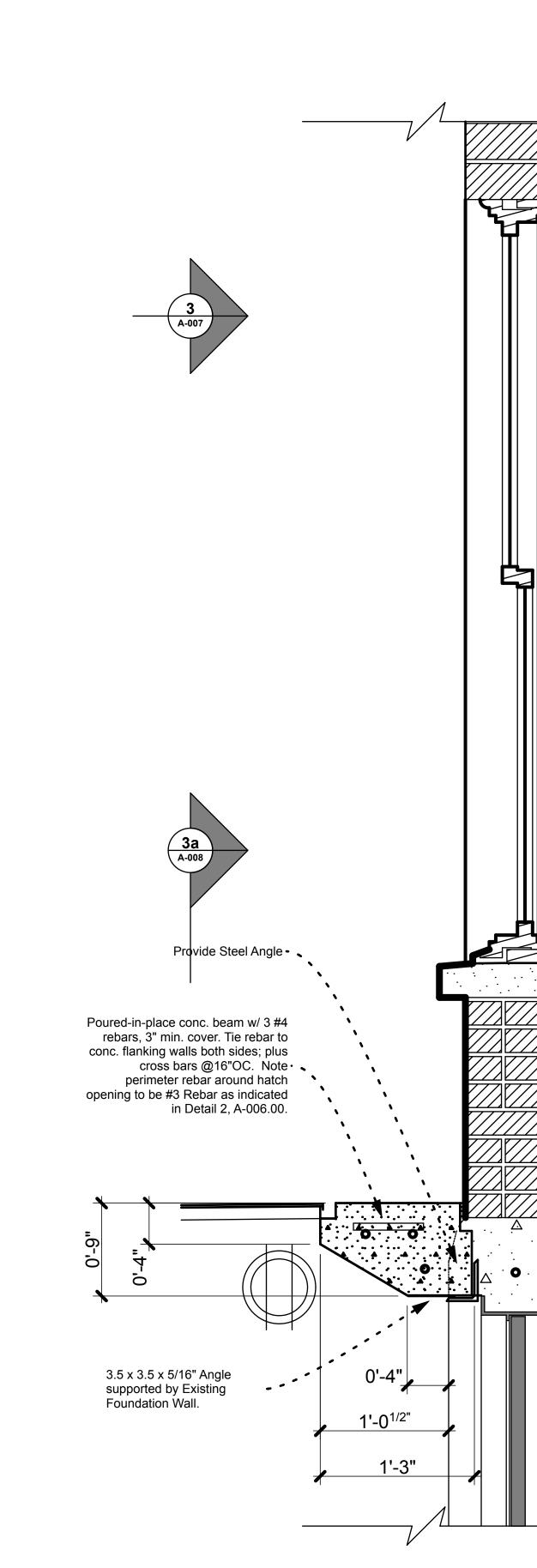
Gravel (compacted) and Rigid Insulation (or fill to support slab during pour). See Plan Detail 5, A-006.00 Block plan for slab supporting piers.

Flexible height setting bed to accommodate pitch of Upper Patio and thickness of finished patio material.

Existing Slab (shown here) underneath the Upper Patio Assembly (NOTE): If existing slab for Upper Patio is less than 4" thick and not reinforce, than apply a new reinforced 4" slab on top of it before doing

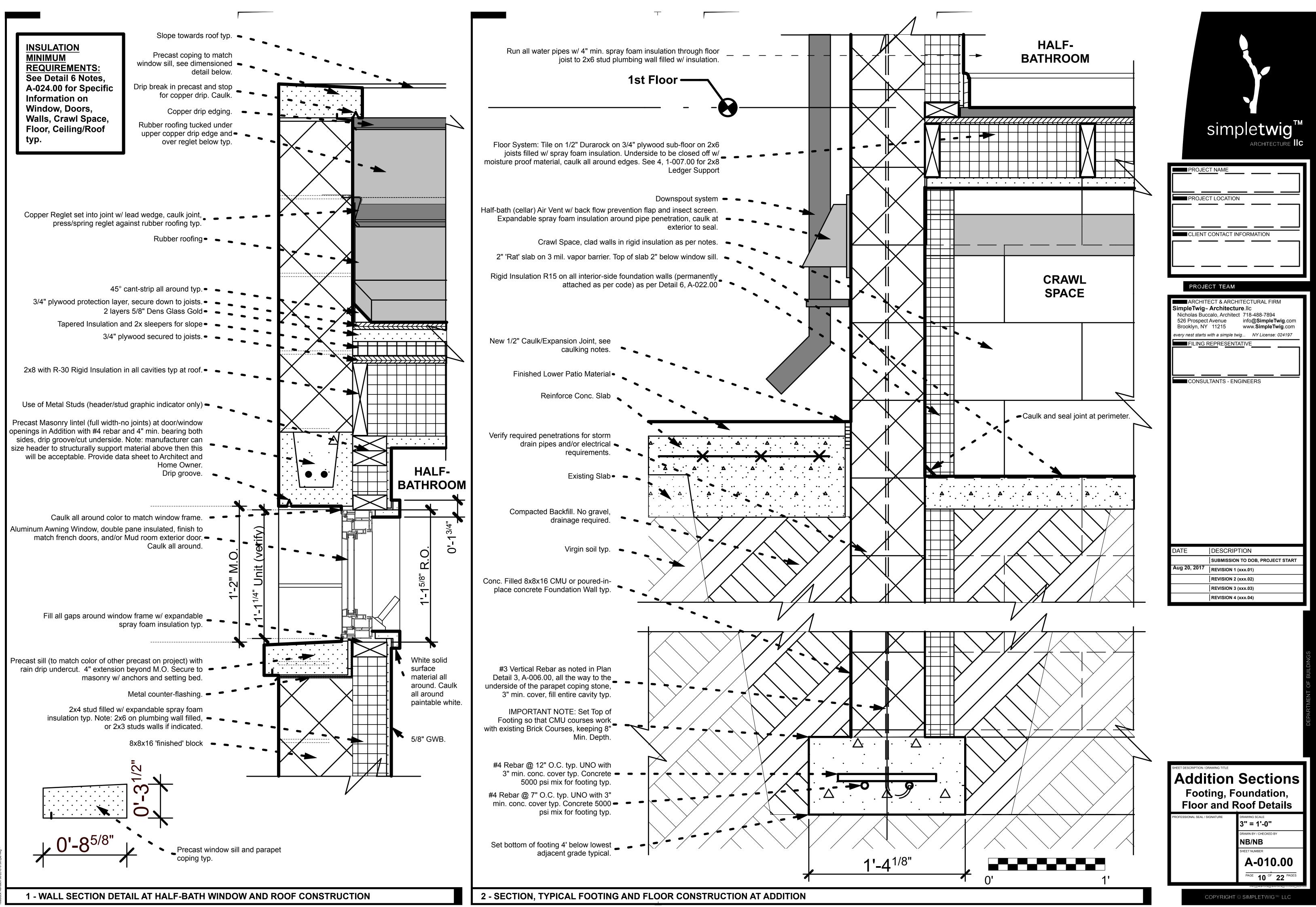
CMU support work (which supports the upper Patio). This note does not affect work done for the Lower Patio.

 free from those structures, joint should be filled w/ caulking (exterior grade) and gray if exposed visually. This will prevent pushing against masonry and upheaval. Provide sample color(s) of caulk for approval (to match finished material it is adjacent to) typ.



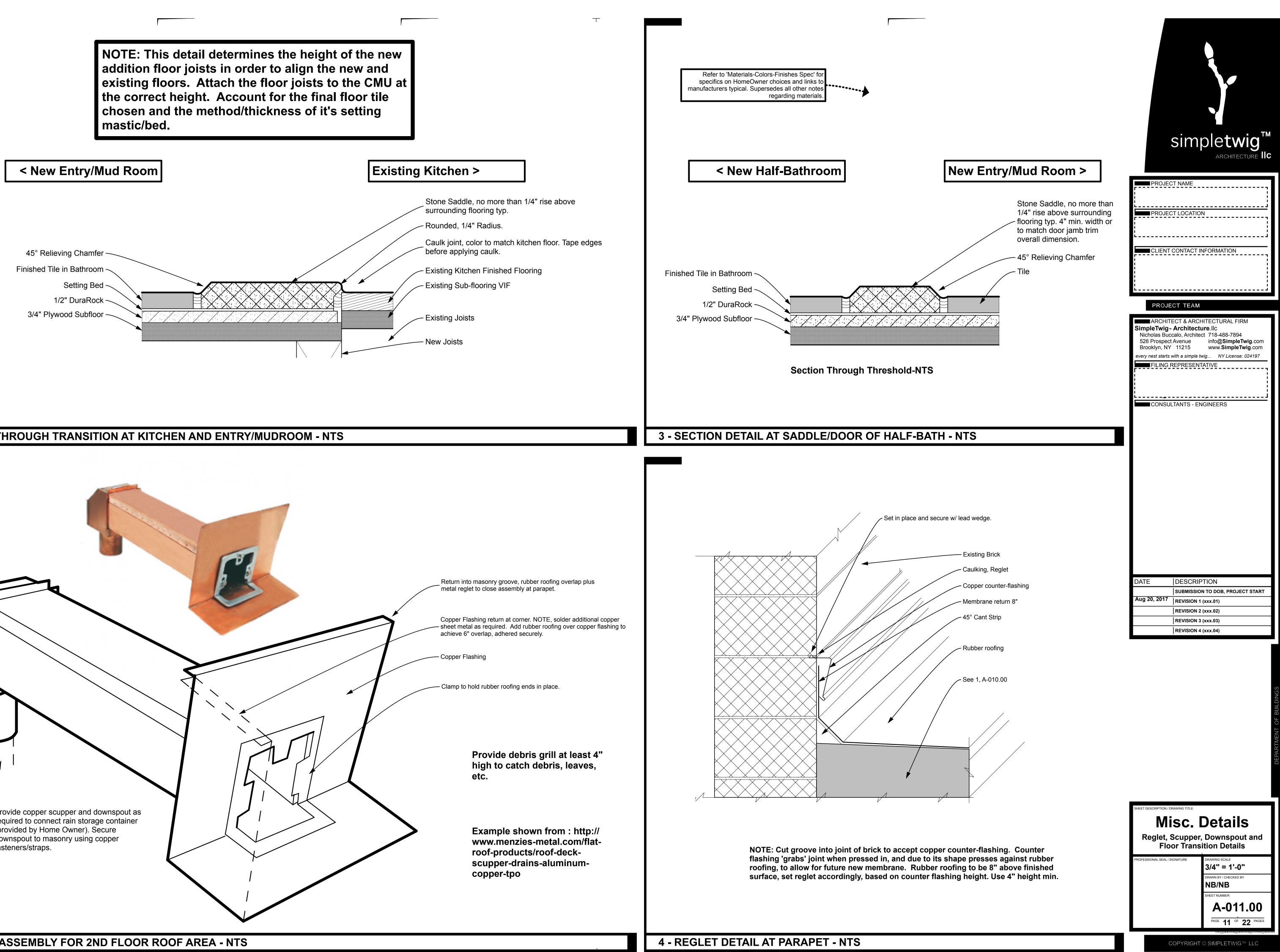
3 - SECTION DETAIL THROUGH BULKHEAD BEAM AT REAR FAC

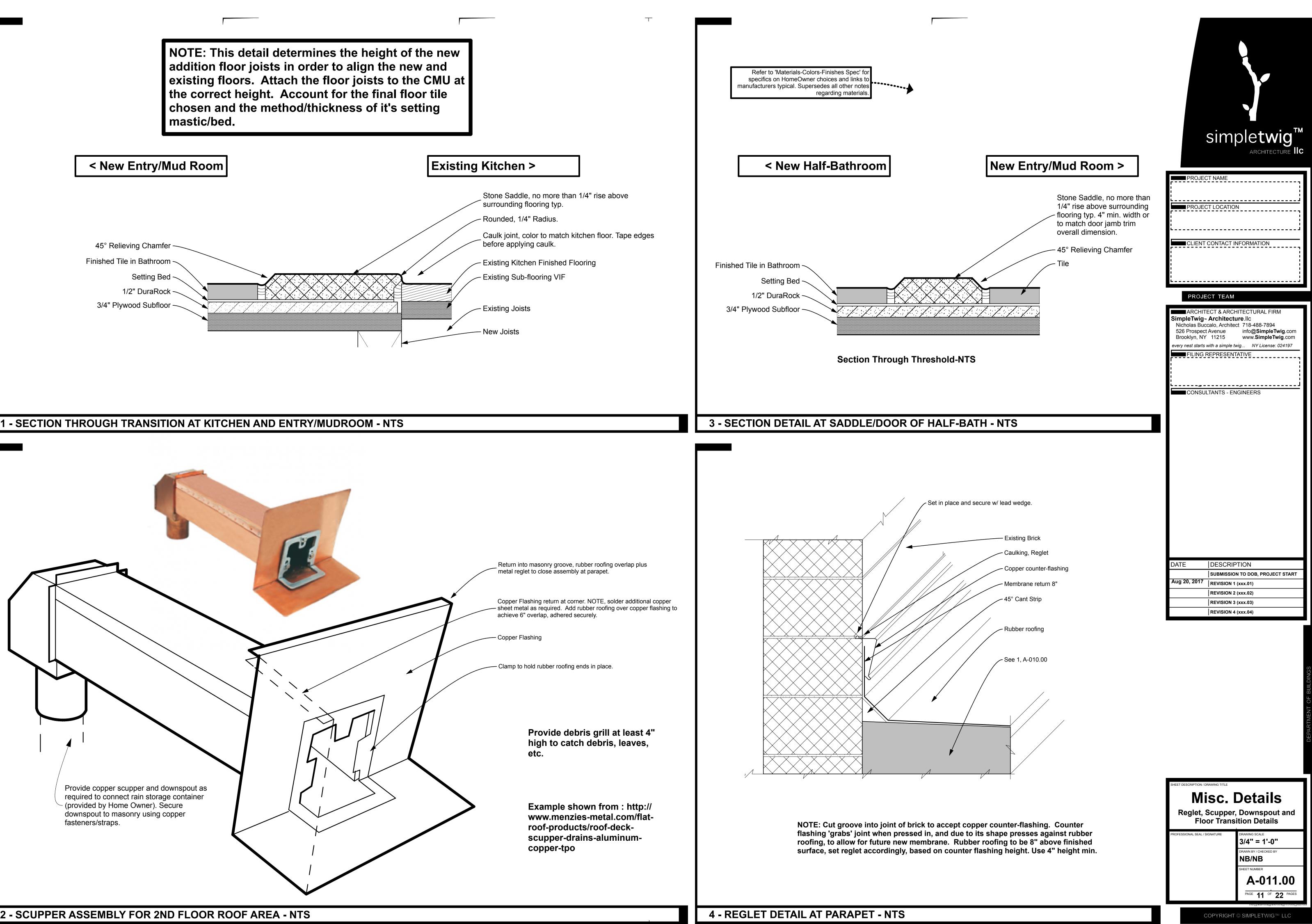
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0' 1'	2' 3'	Wall Opening Dtls (Door) Sections/Elevation Details, Steel Angle Chart PROFESSIONAL SEAL / SIGNATURE DRAWING SCALE 11/2" = 1'-0" DRAWN BY / CHECKED BY NB/NB SHEET NUMBER A-0009.000 Details of the state of t

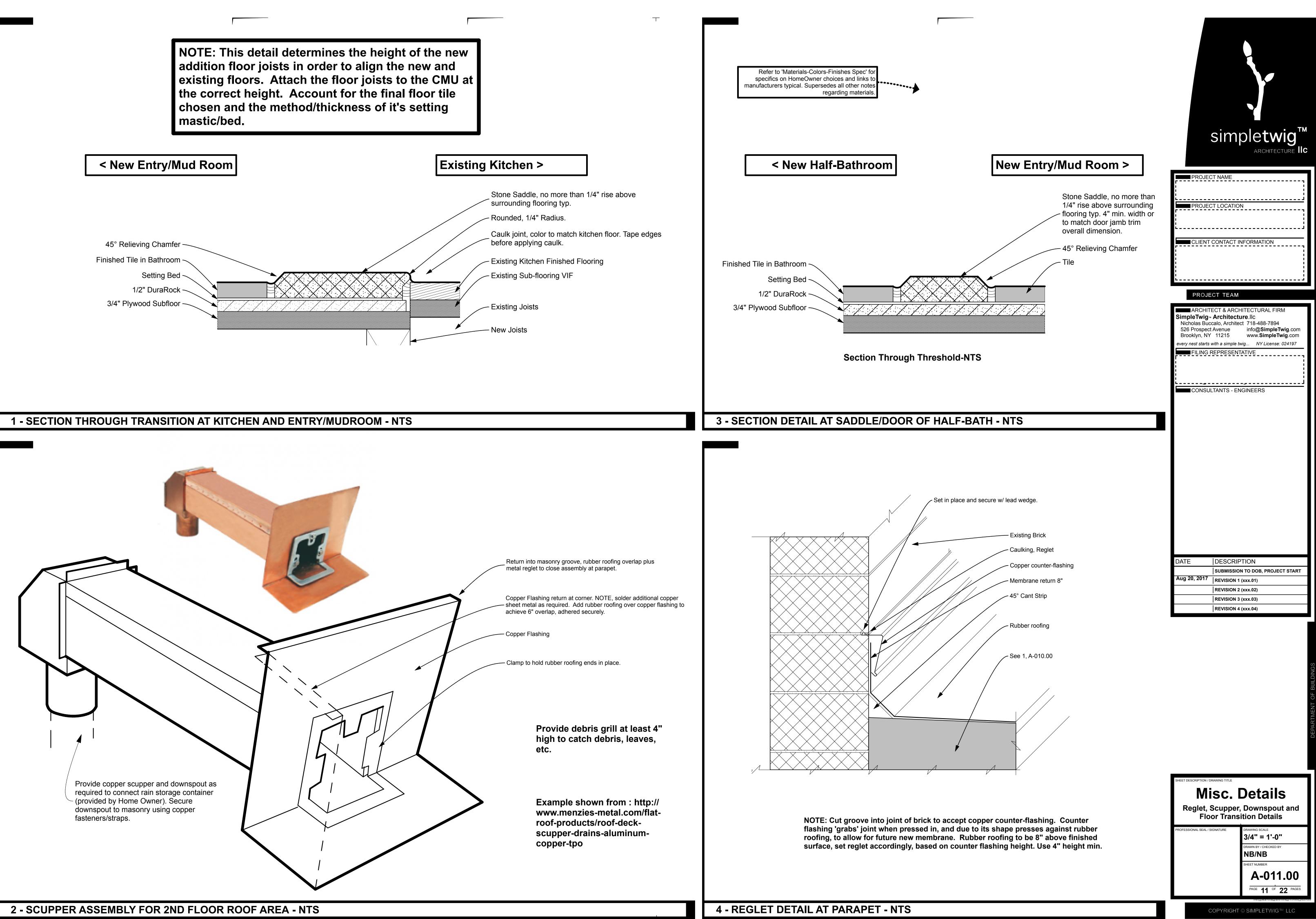


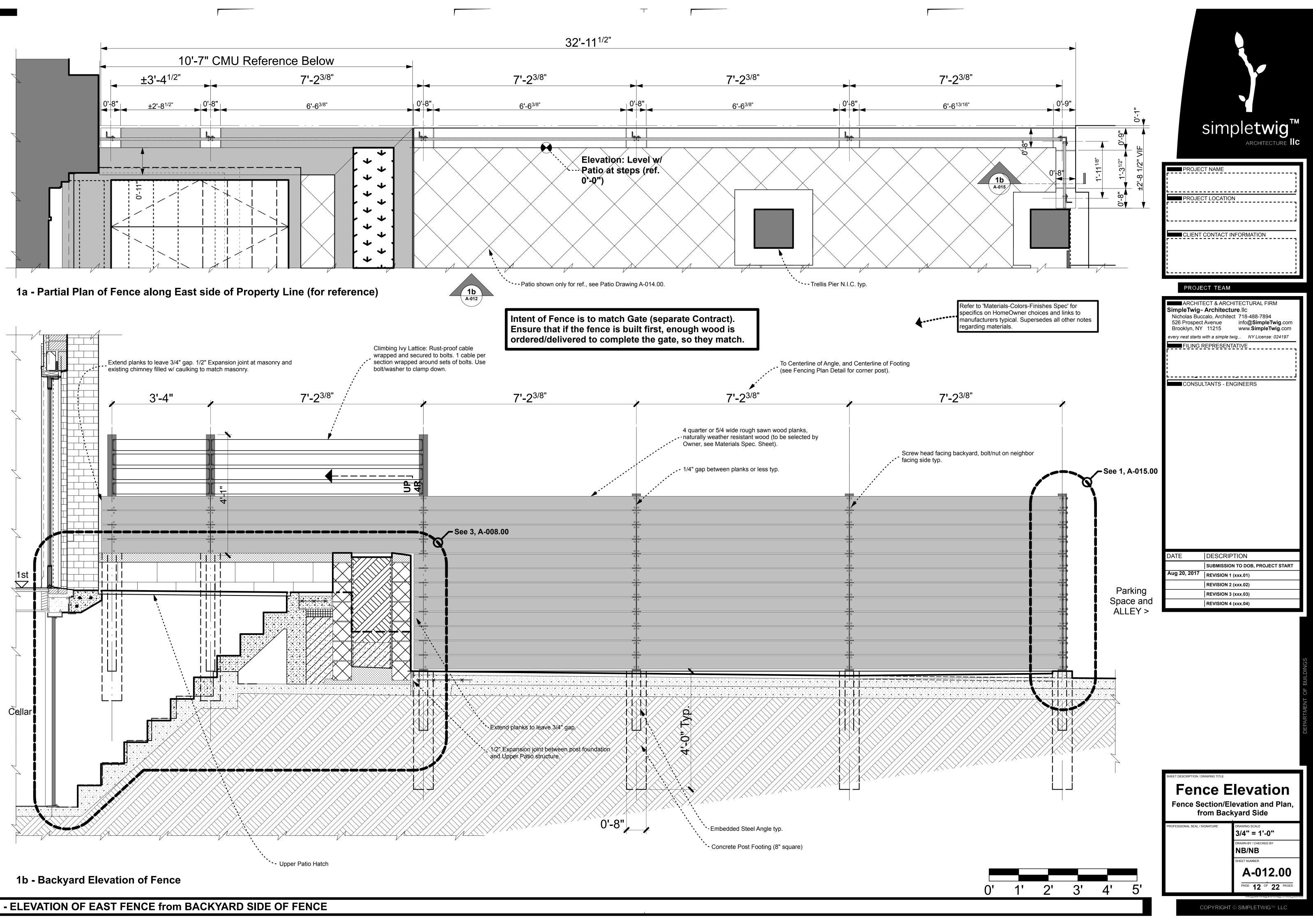
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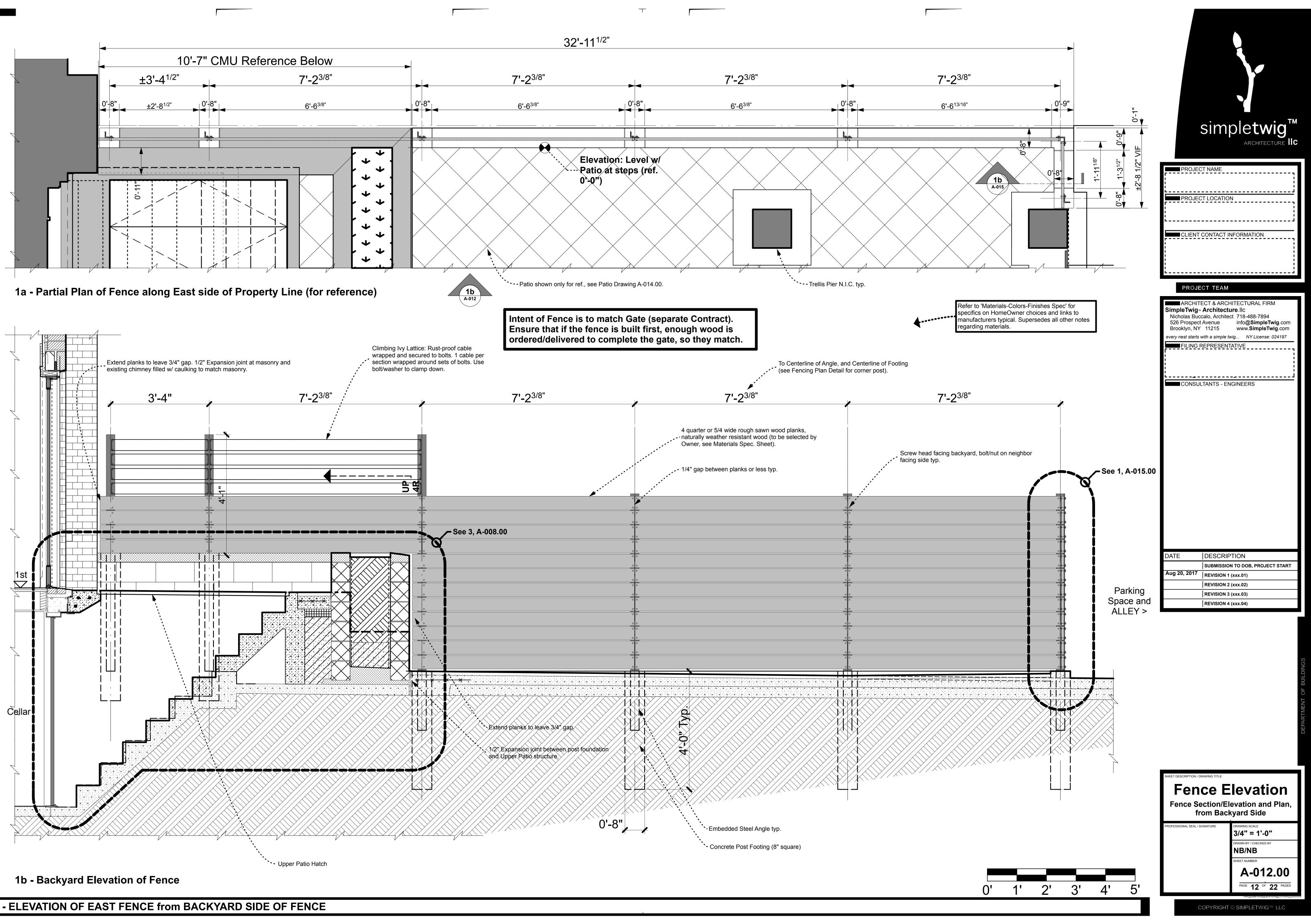
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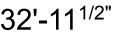


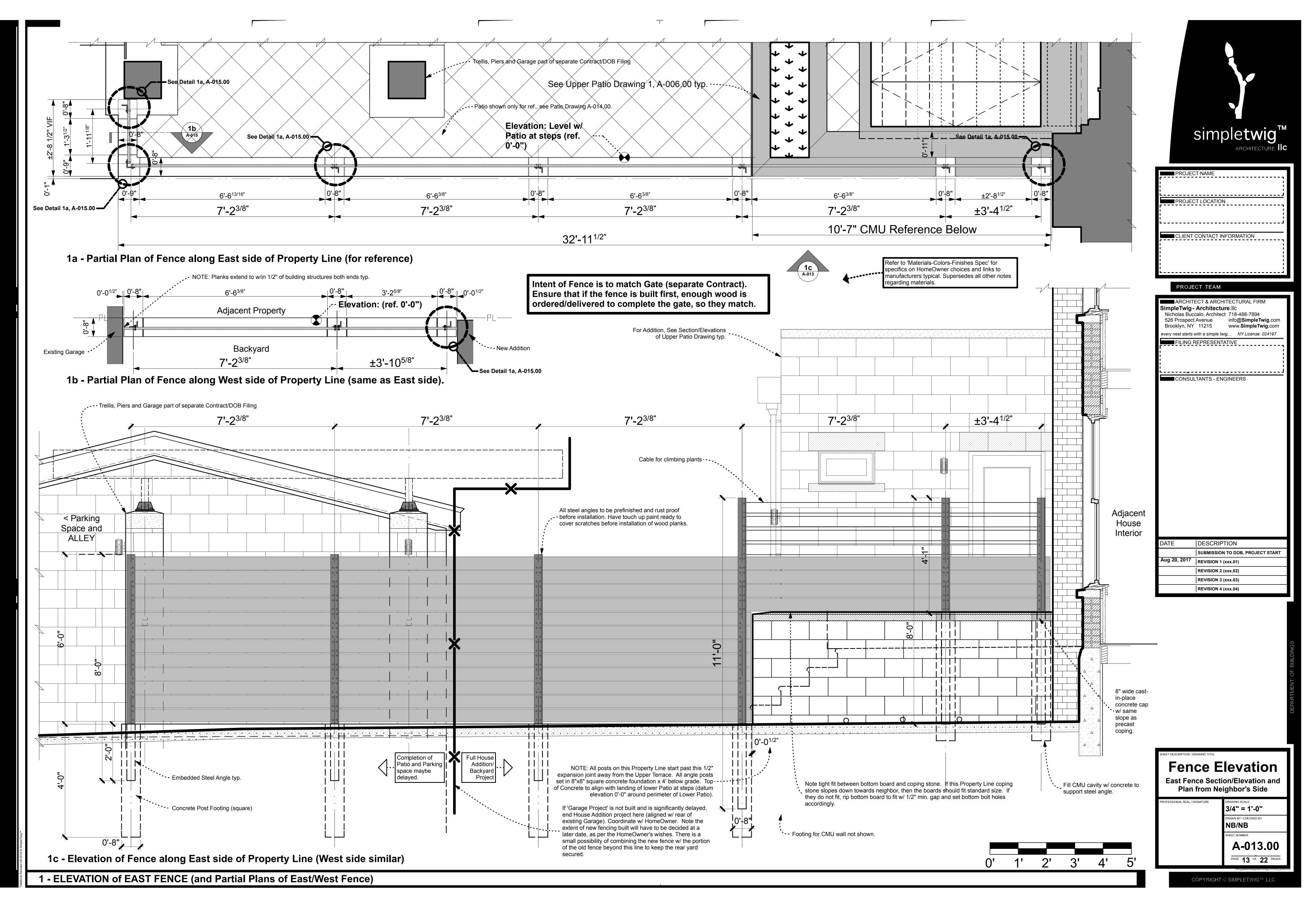




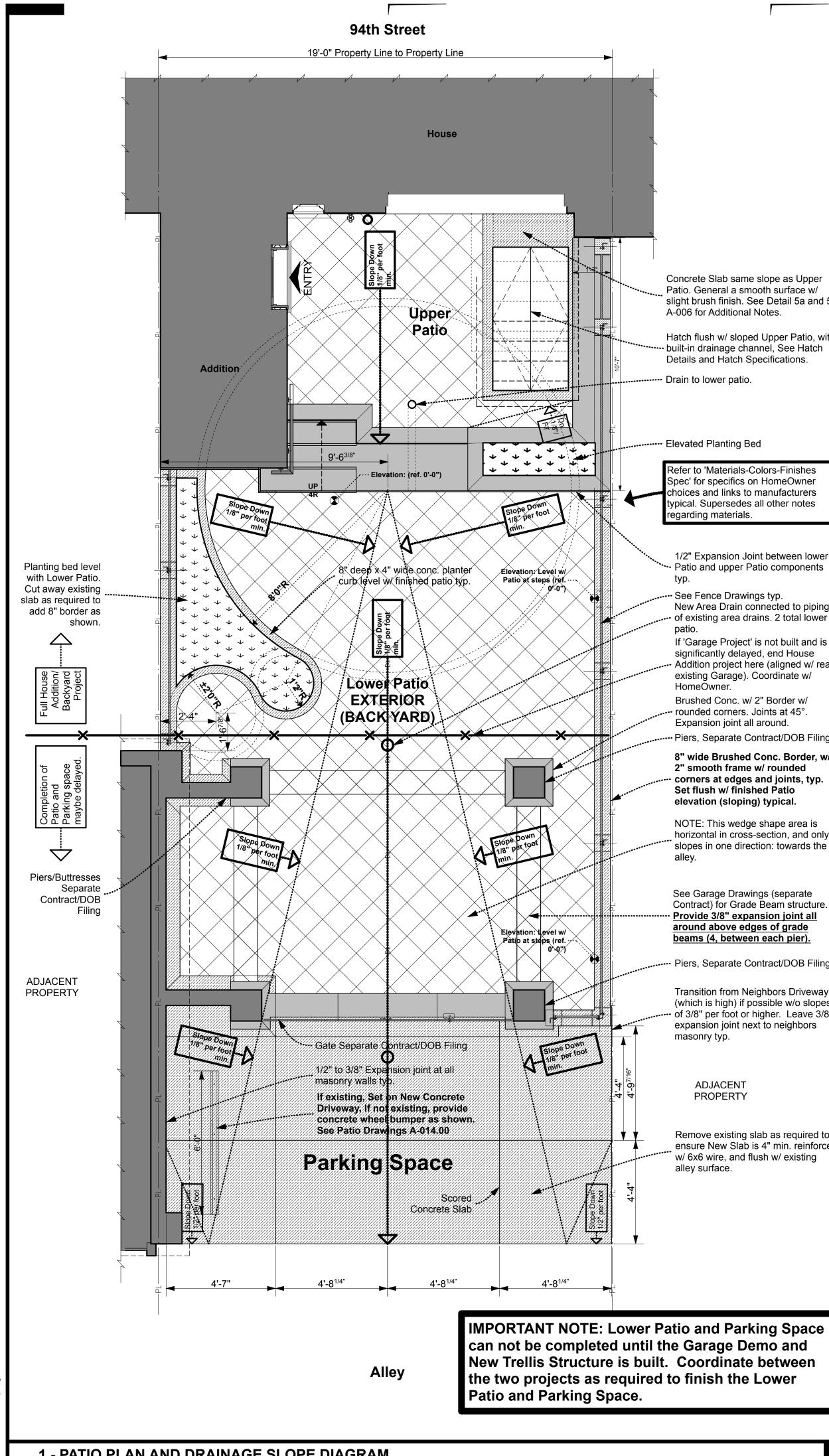






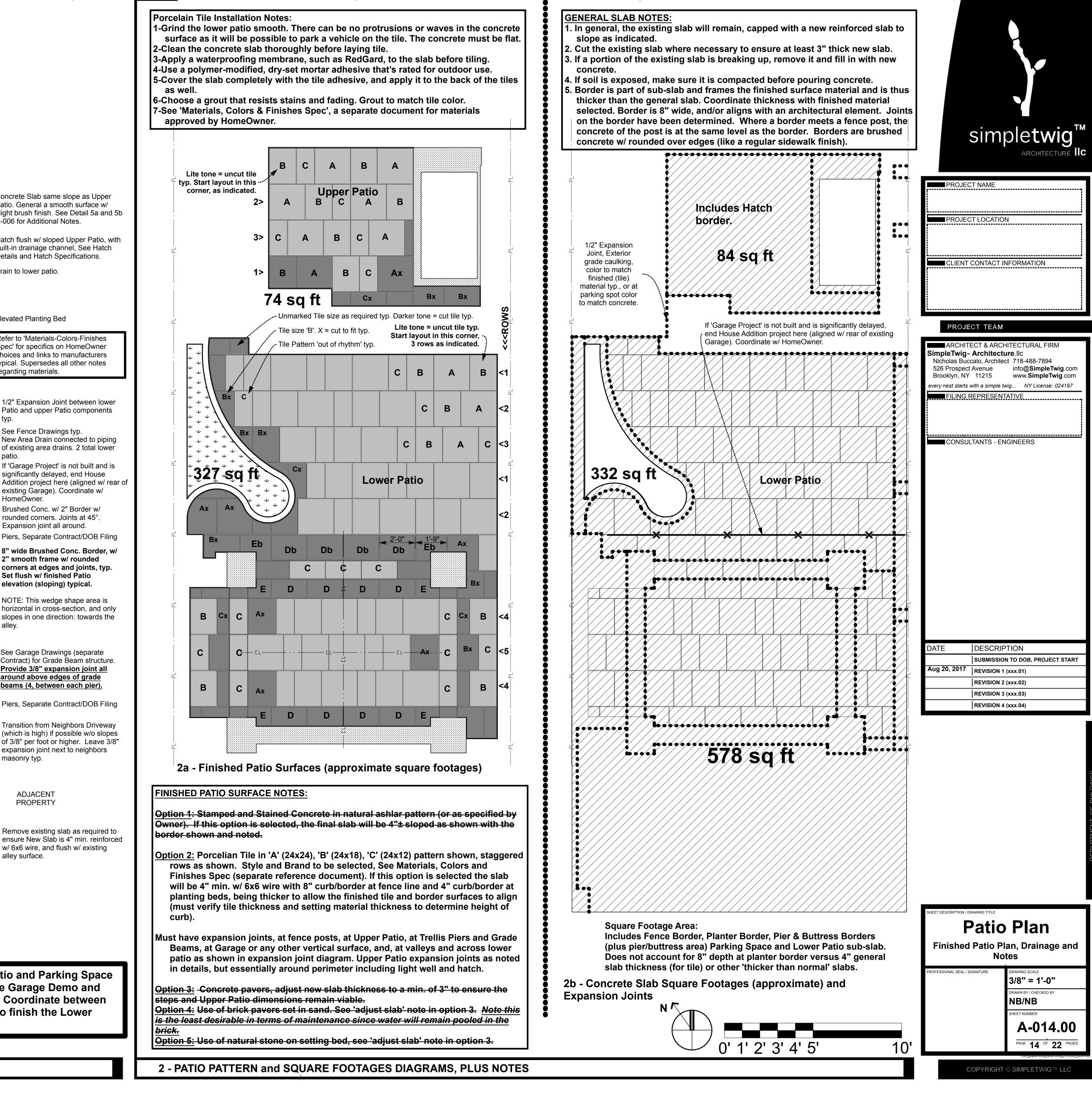


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- PATIO PLAN AND DRAINAGE SLOPE DIAGRAM



Concrete Slab same slope as Upper Patio. General a smooth surface w/ slight brush finish. See Detail 5a and 5b A-006 for Additional Notes.

 \top

Hatch flush w/ sloped Upper Patio, with • built-in drainage channel, See Hatch Details and Hatch Specifications.

Drain to lower patio.

Elevated Planting Bed

Refer to 'Materials-Colors-Finishes Spec' for specifics on HomeOwner hoices and links to manufacturers ypical. Supersedes all other notes egarding materials.

1/2" Expansion Joint between lower Patio and upper Patio components

See Fence Drawings typ. New Area Drain connected to piping - of existing area drains. 2 total lower

If 'Garage Project' is not built and is significantly delayed, end House Addition project here (aligned w/ rear of existing Garage). Coordinate w/ HomeOwner.

Brushed Conc. w/ 2" Border w/ rounded corners. Joints at 45°. Expansion joint all around.

8" wide Brushed Conc. Border, w/

2 Smooth frame w/ rounded corners at edges and joints, typ. Set flush w/ finished Patio elevation (sloping) typical.

NOTE: This wedge shape area is horizontal in cross-section, and only slopes in one direction: towards the

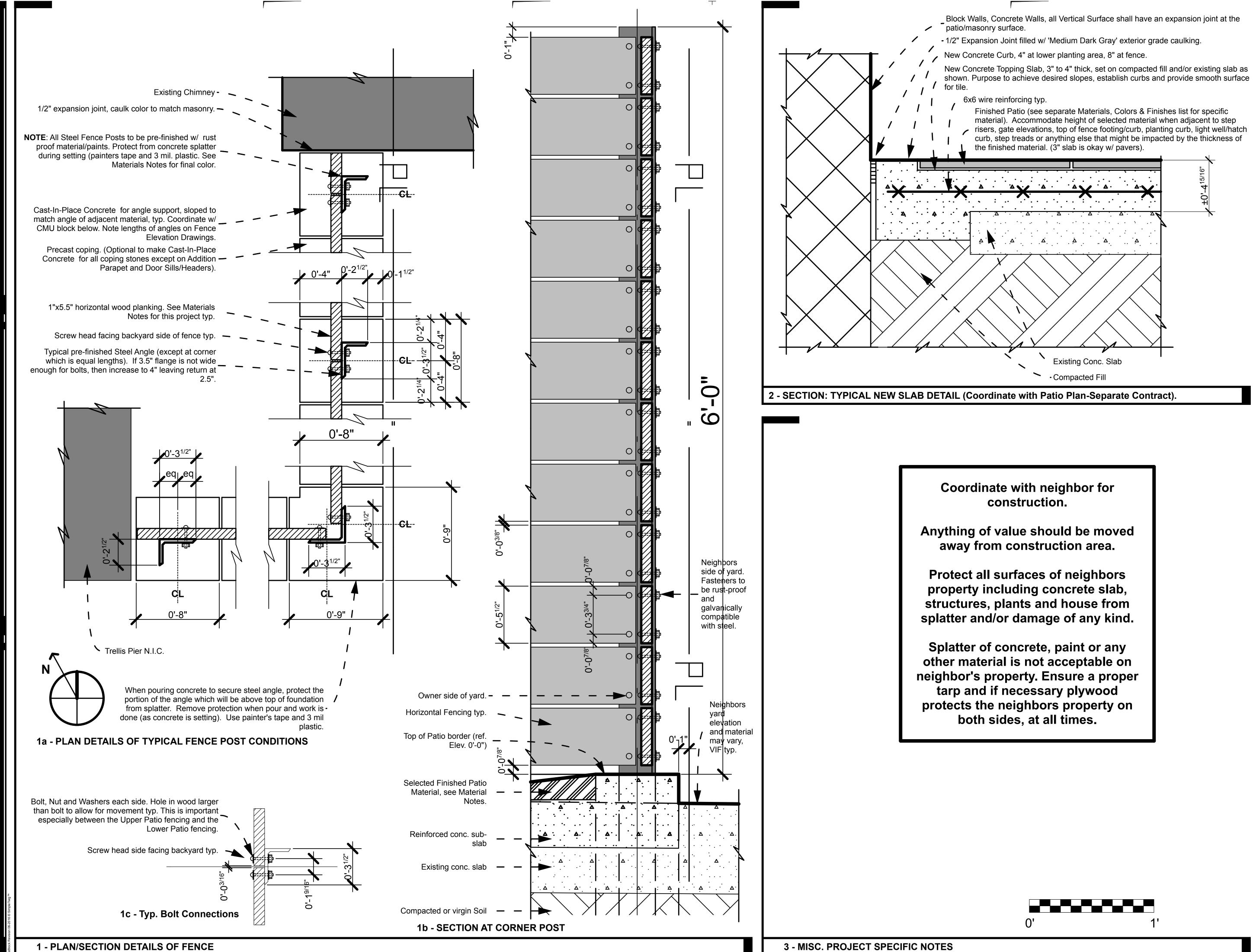
See Garage Drawings (separate Contract) for Grade Beam structure. Provide 3/8" expansion joint all around above edges of grade beams (4, between each pier).

Piers, Separate Contract/DOB Filing

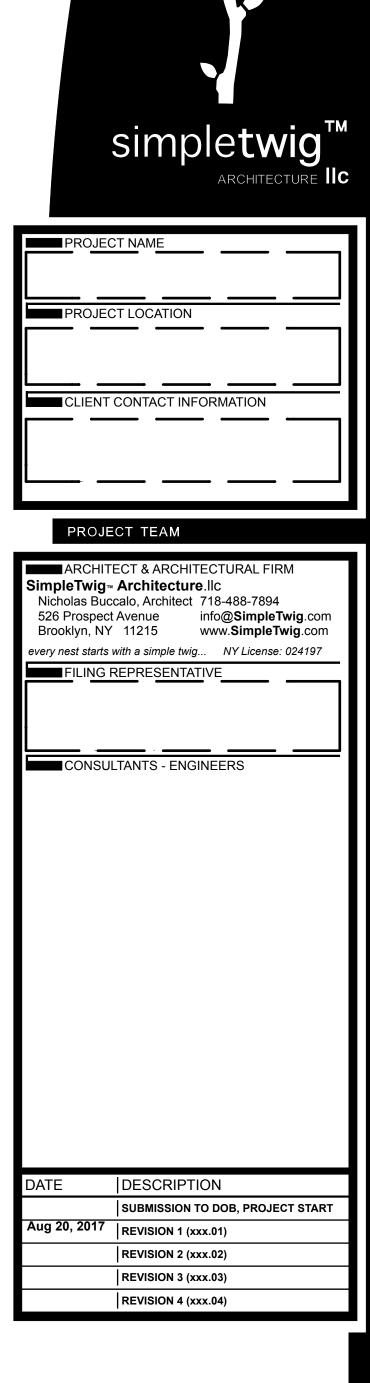
Transition from Neighbors Driveway (which is high) if possible w/o slopes of 3/8" per foot or higher. Leave 3/8" expansion joint next to neighbors masonry typ.

ADJACENT PROPERTY

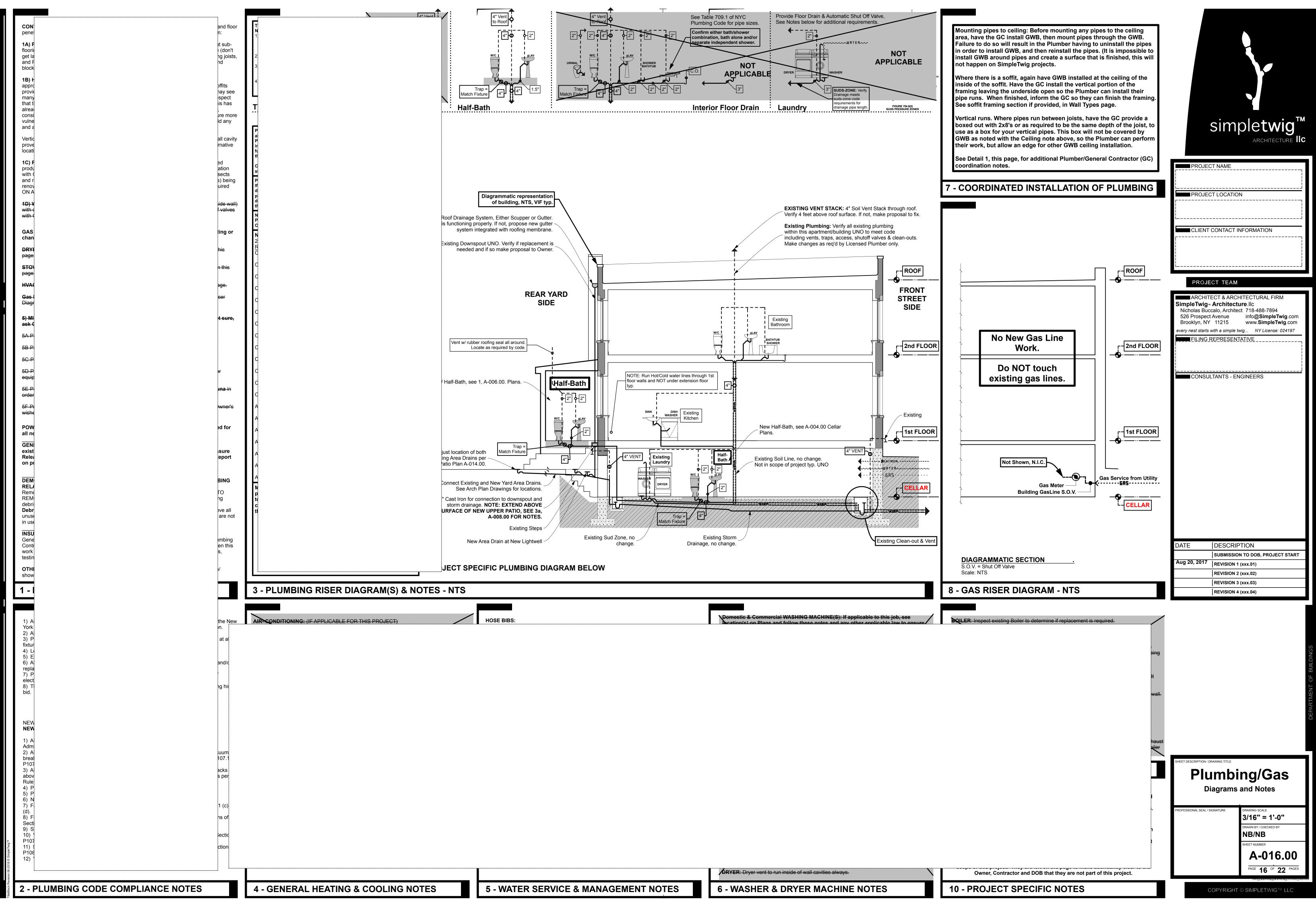
Remove existing slab as required to ensure New Slab is 4" min. reinforced w/ 6x6 wire, and flush w/ existing alley surface.

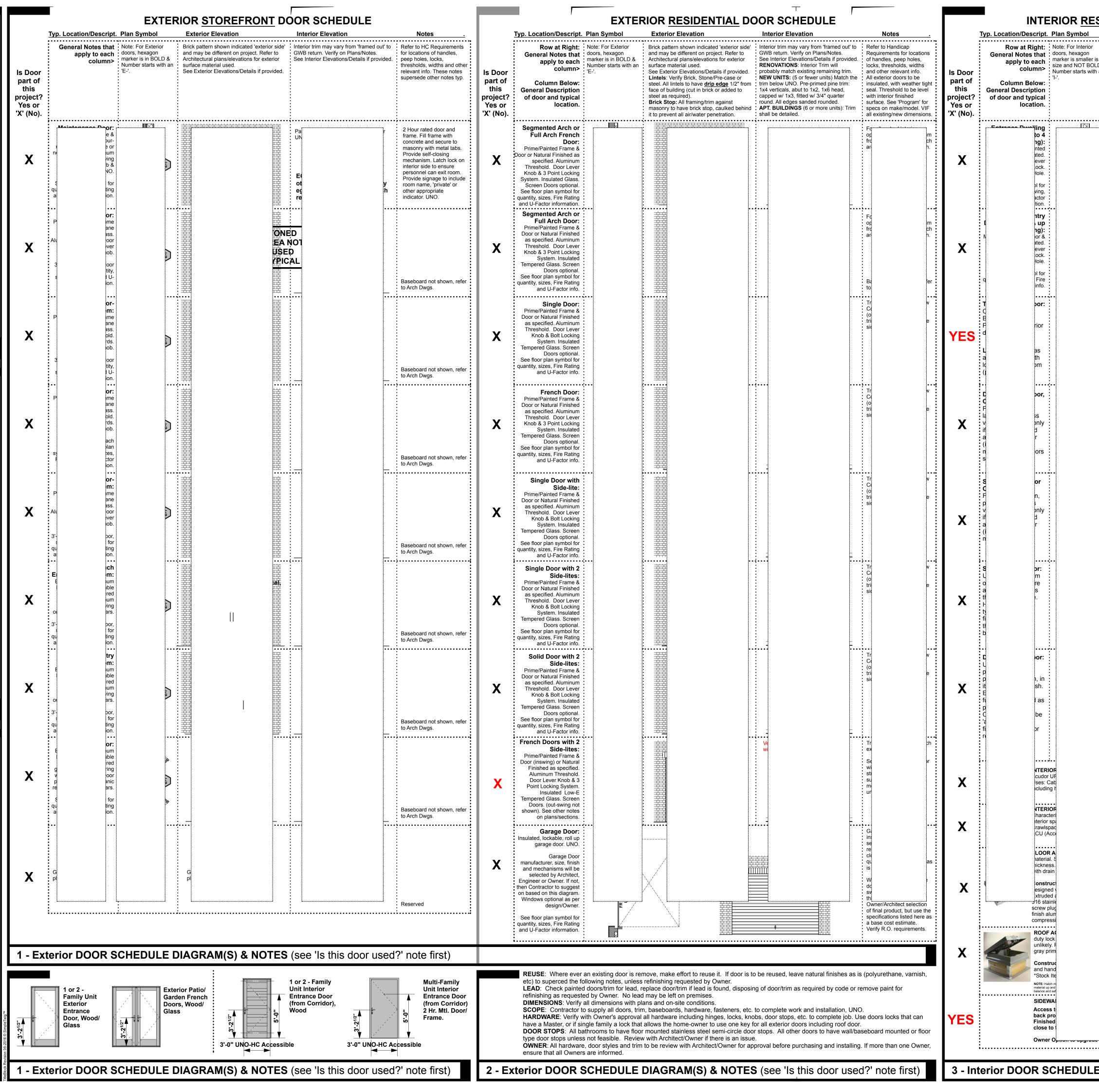


Finished Patio (see separate Materials, Colors & Finishes list for specific material). Accommodate height of selected material when adjacent to step risers, gate elevations, top of fence footing/curb, planting curb, light well/hatch curb, step treads or anything else that might be impacted by the thickness of

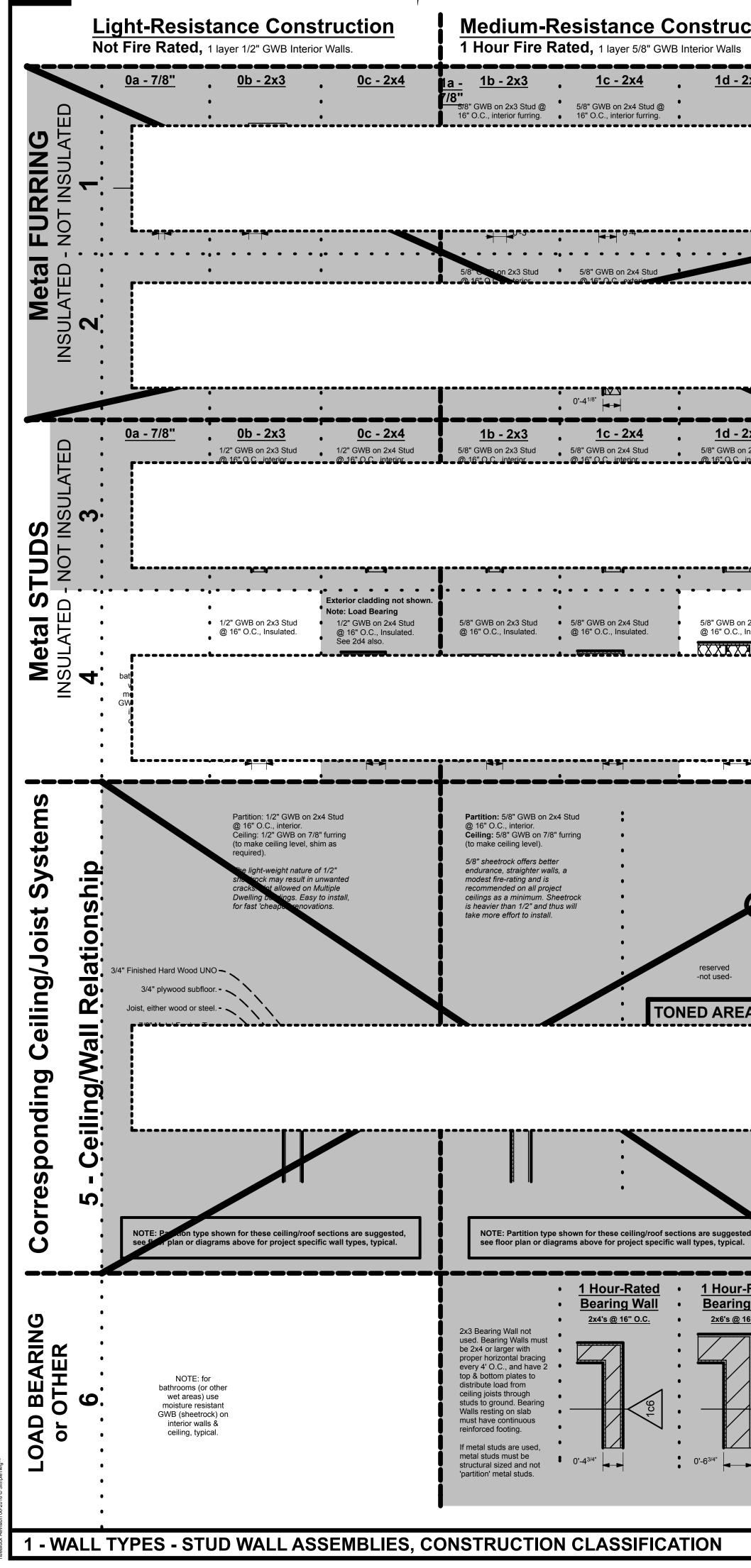








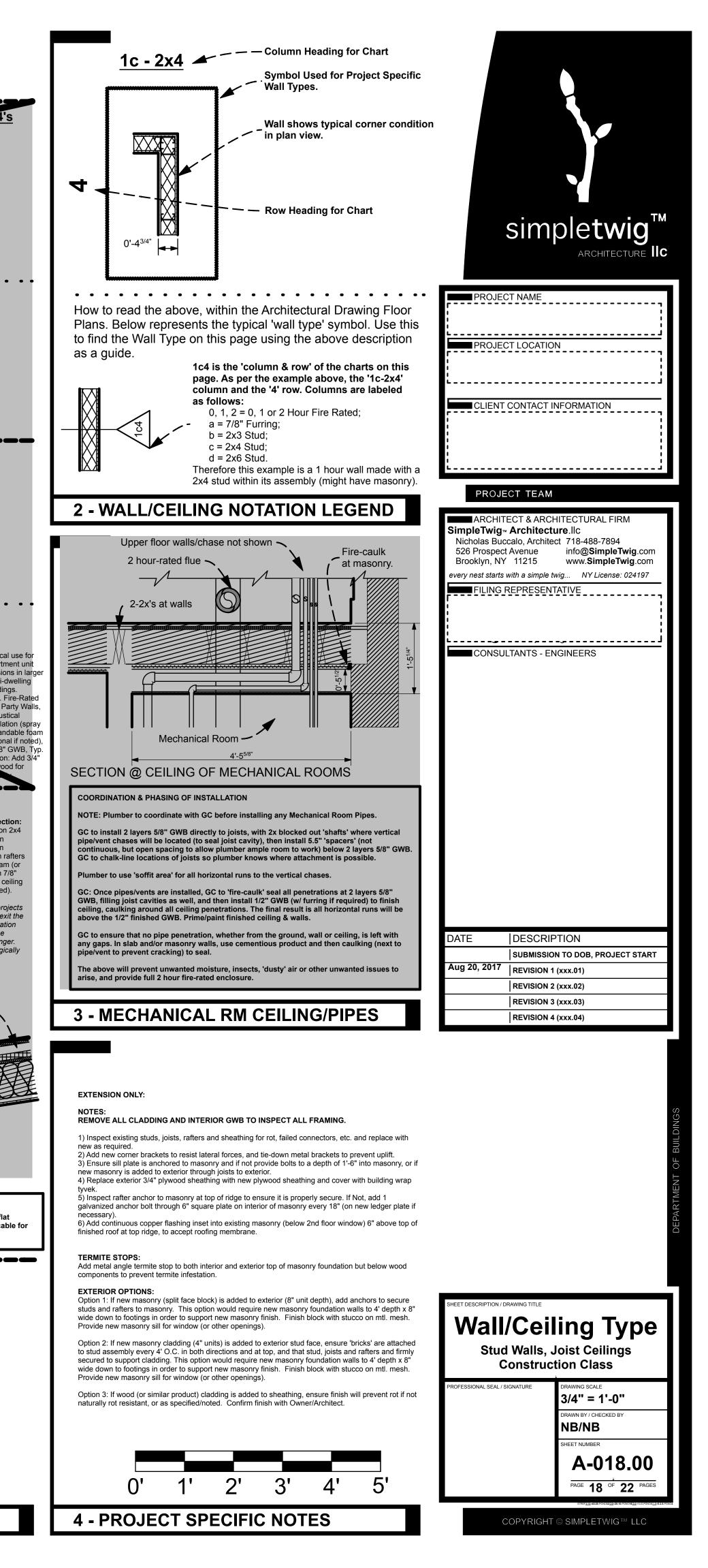
<u>טוכ</u>	ENTIAL DOOR SCH	EDULE Notes	UNIVERSAL INTERIOR NOTES: - 패	he	
D. an	'Exterior' (corridor or main room side) and 'Interior' (room side) finishes to match on both sides of door: ether natural polyurethaned, stained or prime/painted as noted. See finish specifications & notes. See Architectural Elevations/Details if provided for panels, trim and baseboards UNO.	and other relevant info. If Hollow-Core Doors are specified, do not cut them down in size, instead frame	sa ba us ali EX at 'fre Pk De	ss, im n 6/	
	Interior Elev. Side of Door, similar, typ.	opening properly or purchase the correct sized door.	NE RE		
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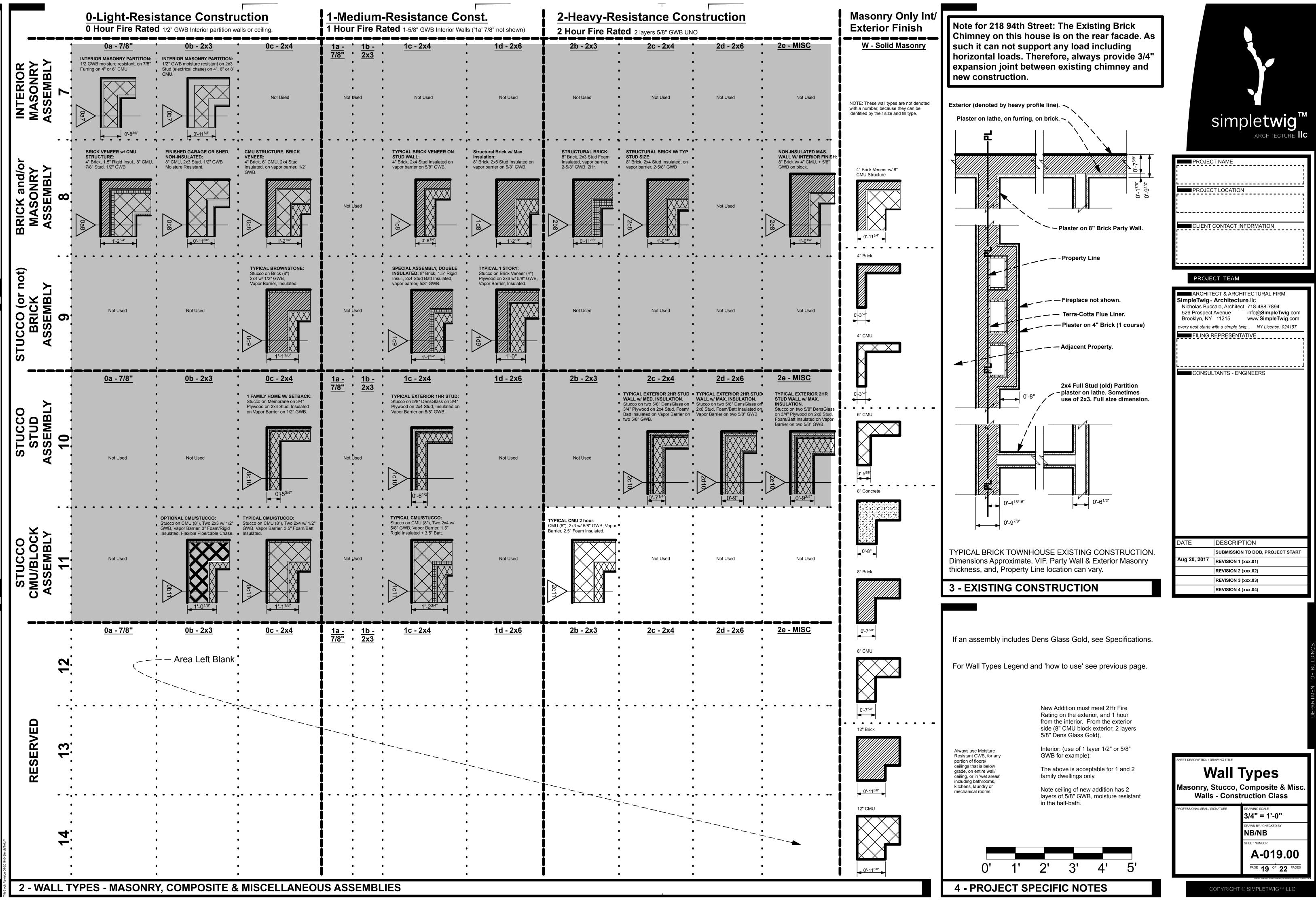


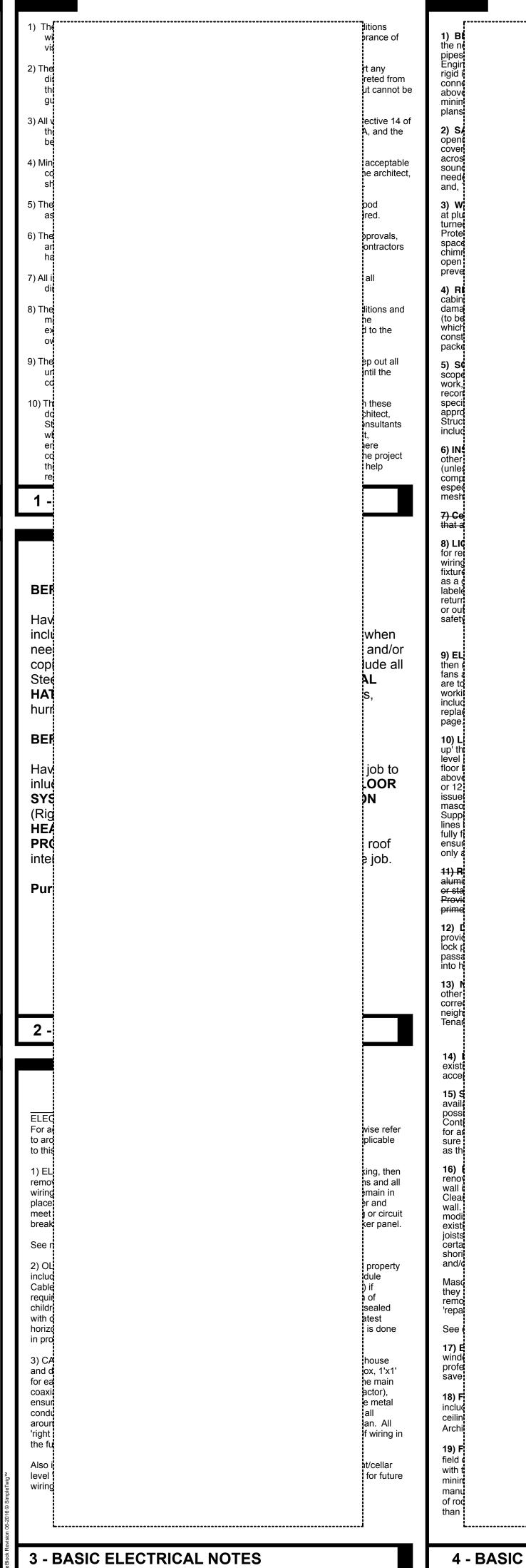
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Revision 06-2016 © Sim

ction	Heavy-Resistance Construction 2 Hour Fire Rated, 2 layers 5/8" GWB, or as noted.		
<u>2x6</u>	<u>2b - 2x3</u> , <u>2c - 2x4</u> , <u>2d - 2x6</u> , <u>notes</u>	<u>3b - Two 2x3's</u>	3c Two zx4's
2x6 on 2x6 Stud	2b - 2x3 2c - 2x4 2d - 2x6 notes For exterior fire-rated		
on 2x6 Stud , Insulated.	2x6 PLUMBING Bearing full (exterior) VALL (Exterior) Cladding Not Shown Neighbor Structure Fill gap between this and neighbor structure with backer-rod &	Stud Party Wall 2-2x3's, 2-Hour separation 7/8" Furring Not Used on Party	Stud Party Wall 2-2x4's, 2-Hour separation Typical u apartmen divisions multi-dwo buildings 2 Hr. Fire
			Apt. Part Acoustic Insulation expanda optional 2-5/8" G Option: A Newood secs
	 Partition: 2 layers 5/8" and on 2x4 Stud @ 16" On (exterior). Ceiling: 2 layers of 5/8" GWB on 7/8" furring to make ceiling level) offer mour fire-rating between and 7/8" furring (to make ceiling level) on dists (with no gap between joists), then add 7/8" furring (to make ceiling level) and 1/2" finished GWB. Offers 2 hour fire-rating between floors as well as slow fire spread between joists and ceiling cavity. Note that partition. 5/8" sheetrock offers better endurance, straighter walls & ceilings, a modest fire-rating and is recommended on all projects ceilings as a prefered minum. Sheetrock is heavier than 1/2" and thus will take more effort to install. Optional 2 hour continuous fire-rating between joists and ceiling: 2 layers of 5/8" GWB applied directly on joists (with no gap between joists), then add 7/8" furring (to make ceiling level) and 5/8" finished GWB. Offers 2 hour fire-rating between floors as well as slow fire spread between joists and ceiling cavity. Note that this allows interior unit partitions to be 1/2" GWB. This is recommended on all projects ceilings as a prefered minum. Sheetrock is heavier than 1/2" and thus will take more effort to install. Optional 2 hour continuous fire-rating between add 7/8" furring to make ceiling to help ensure complete fire-rating. 	spacer next to roof sub-straight', with spray foam (or batt if specified) insulation, on 7/8" furring, on 5/8" GWB finished ceiling (use 2-5/8" GWB if 2 hour rated). This is a typical roofing condition for townhouses, and while insulated it often leads to wood drying out, the smell of roofing materials, very hot roof surfaces and in general does not	Optional Enhanced Roof Sectio Membrane on 3/4" Plywood, on 22 sleeper (part of roof ventilation system) w/ 1/5" rigid insulation between, on 3/4" Plywood, on raft with cavity filled with spray foam (batt if specified) insulation, on 7/8 furring, on 5/8" GWB finished ceili (use 2-5/8" GWB if 2 hour rated). This is recommended on all project as it allows built-up hot air to exit to roofing system, to make insulation more effective and to allow the roofing components to last longer. Required roofing vents strategical placed at the bottom and top. Metal Strap Cross bracing 8' O.C.
ited, al.	NOTE: Partition type shown for these ceiling/roof sections are suggested, see floor plan, Sections and Section Details of Roof. Note 2 hour rated roof assembly for 218 94th Street, Brooklyn, consisting of 2 layers of 5/8" gypsum product board as noted in details both sides of roof structure.	ROOF ASSEMBLY NOTE: Sloped 'top floor' ceiling show ceiling. See Architectural Drawings to this project.	
r-Rated ng Wall 16" O.C.	 A Beng Wall Barbar Beng Wa	Not Used	Not Used
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REScheck Software Version 5.5.0

Inspection Checklist

Energy Code: 2016 New York City Energy Conservation Code

Requirements: 100.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

	Section	laimed. Where compliance is it				table, a refer		
	# & Req.ID 103.1,	Pre-Inspection/Plan Review		Complies	?	Requirement	Comments/As	sumptions
<u>High</u> Impact (Tier 1)	103.1, 103.2 [PR1] ¹	documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.	gy [Does Not Not Observa		Location on plans/spec: A-022.00; Detail 1 & 2, Special Notes Detail 1, A-006.00		00; Detail 1 & 2, A-010.00.
<u>High</u> Impact (Tier 1)	R401.4, Appendix RB [PR4] ¹	Detached one- and two-family dwellings and multiple single-fami dwellings (townhouses) shall meet requirements of Appendix RB (Sola Ready requirements) of this code.	ily [t the ar-	Complies Does Not Not Observa Not Applical		Location on		pplicable. ' detached, Not Applicable. HOUSE, NOT APPLICABLE
	Section # & Req.ID	Foundation Inspection		ns Verified Value	Fi	eld Verified Value	Complies?	Comments/Assumptions
<u>High</u> Impact (Tier 1)	402.2.11 [FO7] ¹ @	Unvented crawl space wall insulation R-value.	R- <u>15</u> R- <u>2</u>				Complies Does Not Not Observable Not Applicable	See the Envelope Assemblies table for values. 3" @ R5/inch = R15 permanently affixed, A-010.00.
<u>High</u> Impact (Tier 1)	303.2 [FO8] ¹ @	Unvented crawl space wall insulation installed per manufacturer's instructions.	Y	(ES			Complies Does Not Not Observable Not Applicable	Requirement will be met. Location on plans/spec: Detail 2, A-010.00. Permanently affixed insulation.
<u>High</u> Impact (Tier 1)	402.2.11 [FO9] ¹ @	Unvented crawl space continuous vapor retarder installed over exposed earth, joints overlapped by 6 in. and sealed, extending at least 6 in. up and attached to the wall.	٢	(ES			Complies Does Not Not Observable Not Applicable	Requirement will be met. Location on plans/spec: Detail 2, A-010.00. Vapor Barrier and Rat Slab.
<u>High</u> Impact (Tier 1)	402.2.11 [FO10] ¹ ©	Unvented crawl space wall insulation depth of burial or distance from top of wall.	36	_ in.	_	in.	Complies Does Not Not Observable Not Applicable	See the Envelope Assemblies table for values.
<u>Medium</u> Impact (Tier 2)	303.2.1 [FO11] ²	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.		-NA- Applicable			Complies Does Not Not Observable	Exception: Requirement is not applicable. Location on plans/spec: No exposed exterior insulation used. Not Applicable. Confirm Detail 2, A-010.00.
High Impact (Tier 1)	402.1.1, 402.3.1, 402.3.3, 402.3.6, 402.5 [FR2] ¹ (2)	Glazing U-factor (area-weighted average).	U	_	U	_	Complies Does Not Not Observable Not Applicable	See the Envelope Assemblies table for values.
<u>High</u> Impact (Tier 1)	303.1.3 [FR4] ¹ @	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.	٢	(ES			Complies Does Not Not Observable Not Applicable	Requirement will be met. Location on plans/spec: Detail 6, A-022.00. As per manufact&®? & tings.
<u>High</u> Impact (Tier 1)	402.4.6 [FR20] ¹ @	Fire separations between dwelling units in two-family dwellings and multiple single- family dwellings (townhouses) are insulated to no less than R-10 and the walls are air sealed in accordance with Section 402.4.1.		-NA- Applicable			Complies Does Not Not Observable	Exception: Requirement is not applicable. Location on plans/spec: Not Applicable, Single Family Residence, not 2 fam. or more.
<u>High</u> Impact (Tier 1)	402.4.1.1 [FR23] ¹ @	Air barrier and thermal barrier installed per manufacturer's instructions.	٢	(ES			Complies Does Not Not Observable	Requirement will be met. Location on plans/spec: Detail 6, A-022.00. Detail 2, A-010.00 (Vent Note).
<u>High</u> Impact (Tier 1)	402.4.3 [FR20] ¹ ම	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.	٢	(ES			Complies Does Not Not Observable Not Applicable	Requirement will be met.
<u>Medium</u> Impact (Tier 2)	402.4.5 [FR16] ²	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.	-	- NA- Applicable			□Complies □Does Not □Not Observable XNot Applicable	Exception: Requirement is not applicable. Location on plans/spec: No proposed recessed light fixtures. Plan 1, A-006.00.
<u>Medium</u> Impact (Tier 2)	403.6 [FR19] ²	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.		(ES			Complies Does Not Not Observable Not Applicable	Requirement will be met. Location on plans/spec: Detail 2, A-010.00. Backflow preventer on air vent duct note.
<u>Medium</u> Impact (Tier 2)	303.1 [IN13] ²	All installed insulation is labeled or the installed R-values provided.	٢	(ES			Complies Does Not Not Observable Not Applicable	Requirement will be met.
<u>High</u> Impact (Tier 1)	402.1.1, 402.2.6 [IN1] ¹ ④	Floor insulation R-value.	R- <u>3</u> ズ W ☐ St			Wood Steel	Complies Does Not Not Observable Not Applicable	See the Envelope Assemblies table for values.
<u>High</u> Impact (Tier 1)	303.2, 402.2.7 [IN2] ¹	Floor insulation installed per manufacturer's instructions and in substantial contact with the underside of the subfloor, or floor framing cavity insulation is in contact with the top side of sheathing, or continuous insulation is installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.		/ES			Complies Does Not Not Observable Not Applicable	Requirement will be met. Location on plans/spec: Detail 2, A-010.00. Spray Foam 'closed cell 2lb foam' insulation.
<u>High</u> Impact (Tier 1)		Wall insulation R-value. If this is a mass wall with at least ½ of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	X W X M	9 /ood ass teel		Wood Mass Steel	Complies Does Not Not Observable Not Applicable	See the Envelope Assemblies table for values.
<u>High</u> Impact (Tier 1)	303.2 [IN4] ¹	Wall insulation is installed per manufacturer's instructions.	٢	ſES			Complies Does Not Not Observable Not Applicable	Requirement will be met. Location on plans/spec: Detail 2, A-010.00. Spray Foam 'closed cell 2lb foam' insulation.

		G
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Compliance Certificate

Project Mcenemy Addition

Construction Site:

Energy Code:	2016 New York City Energy Con	servation Code
Location:	New York, New York	
Construction Type:	Single-family	< Addition is facing South
Project Type:	Addition	< Addition is facility South
Orientation:	Bldg. faces 180 deg. from North	1
Climate Zone:	4 (5362 HDD)	
Permit Date:		
Permit Number:		

Owner/Agent:

Designer/Contractor: Nicholas Buccalo SimpleTwig Architecture.llc 526 Prospect Avenue Brooklyn, New York 11215 718-488-7894 info@simpletwig.com

npliance: Passes using UA trade-off

Compliance: 0.0% Better Than Code Maximum UA: 24 Your UA: 24 Maximum SHGC: 0.40 Your SHGC: 0.32 The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

Assembly		Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling: Flat or Scissor Truss	< Ceiling/Roof Assembly including tapered insulation.	59	48.8	48.8	0.011	1
Wall: Wood Frame, 16in. o.c. Orientation: Left side	< 2x6 insulated plumbing wall	50	35.8	35.8	0.016	1
Window: Wood Frame, 2 Pane w/ Low-E SHGC: 0.50 Orientation: Left side	< 2x3 insulated back mudroom wal	. 2			0.600	1
Wall: Wood Frame, 16in. o.c. Orientation: Right side	< 2x4 insulated end and patio wall.	152	22.8	22.8	0.023	3
Window: Metal, Thermal Break, Single Pane SHGC: 0.25 Orientation: Right side	< Aluminum Awning Bath Window	2			0.310	1
Door: Glass SHGC: 0.28 Orientation: Right side	< Mudroom Door	6			0.320	2
Floor: All-Wood Joist/Truss Over Uncond. Space	< Floor Joists	59	35.8	35.8	0.014	1
Crawl: Masonry Block w/ Integral Insulation Wall height: 6.0' Depth below grade: 3.5' Insulation depth: 3.0'	< Crawl Space Walls	202	18.0	18.0	0.095	14

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2016 New York City Energy Conservation Code requirements in REScheck Version 5.5.0 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title Signature Date Nicholas Buccalo. Architect Aug. 20, 2017

Project Notes:

PROJECT: 5'-4" x 10'-8" Addition (half-bath & mudroom), new French Doors/Sidelights, new Upper/Lower Patio (new hatch/ light well), and new fencing.

2 - COMPLIANCE CERTIFICATE

Photocopy this upon completion of construction, post in Main Electric Panel Room. Must be signed by Architect.

	Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
<u>High</u> mpact Tier 1)	402.1.1, 402.2.1, 402.2.2, 402.2.6 [FI1] ¹	Ceiling insulation R-value.	R- <u>49</u> X Wood Steel	R Wood Steel	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values. Includes Tapered Insulation to create roof slope.
<u>High</u> mpact Tier 1)	303.1.1.1, 303.2 [FI2] ¹	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft².	YES		Complies Does Not Not Observable Not Applicable	Requirement will be met. Location on plans/spec: Detail 1, A-010.00. Spray Foam 'closed cell 2lb foam' insulation.
<u>edium</u> npact Fier 2)	402.2.3 [FI22] ²	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.	-NA- Not Applicable		Complies Does Not Not Observable	Exception: Requirement is not applicable. Location on plans/spec: No attic, soffit or eave, not applicable.
High npact īer 1)	402.2.4 [FI3] ¹	Attic access hatch and door insulation ≥R-value of the adjacent assembly	R- <u>19</u>	R	□Complies □Does Not □Not Observable □Not Applicable	Requirement will be met. Location on plans/spec: Detail 2, A-007.00 Mudroom Door only. No Attic Access Hatch.
High npact fier 1)	402.4.1.3 [FI17] ¹	the test is prepared and signed by the party conducting the test and provided to the code official. For buildings with two or more dwelling units air leakage rate must not exceed 0.3 cfm/ft2 of enclosure surface area within the testing area. Sampling is allowed- for buildings with over 7 dwelling units. All other buildings have air leakage rate not exceeding 0.2 cfm/ft2. The written report includes: 1. the name and place of business of the party conducting the test; 2. the address of the building which was tested; 3. the conditioned floor area of dwelling, calculated in accordance with ANSI Z65, except that conditioned floor area shall include areas where the ceiling height is less than 5 feet; 4. measurement of the air volume lost at an internal pressurization of 0.2 inches w.g. (50 Pascals); 5. the date(s) of the test; 6. a certification by the party conducting the test of the accuracy of the test results; and 7. the signature of the party conducting the test.	ACH 50 = -NA- Not Applicable	ACH 50 =	Complies Does Not Not Observable	Requirement will be met. Location on plans/spec: Detail 6, A-022.00. This project is an addition in an existing single family townhouse, that has existing doors, windows and other components that are not a part of this project, making such a test impossible and thus NOT APPLICABLE.
edium 1pact ier 2)	401.3 [FI7] ²	Compliance certificate posted.	To be posted in Mechanical Room		Complies Does Not Not Observable	Requirement will be met.

Insulation RatingR-ValueAbove-Grade Wall22.80Below-Grade Wall18.00Floor35.80Ceiling / Roof48.80Ductwork (unconditioned spaces):				
Below-Grade Wall18.00Floor35.80Ceiling / Roof48.80Ductwork (unconditioned spaces):	Insulation Ra	ting	R-Value	
Floor35.80Ceiling / Roof48.80Ductwork (unconditioned spaces):	Above-Gra	ade Wall	22.80	
Ceiling / Roof48.80Ductwork (unconditioned spaces):	Below-Gra	ade Wall	18.00	
Ductwork (unconditioned spaces):Glass & Door RatingU-FactorSHGCWindow0.550.50Door0.500.50Heating & Cooling EquipmentEfficiencyHeating System:	Floor		35.80	
Glass & Door RatingU-FactorSHGCWindow0.550.50Door0.500.50Heating & Cooling EquipmentEfficiencyHeating System:	Ceiling / F	loof	48.80	
Window0.550.50Door0.500.50Heating & Cooling EquipmentEfficiencyHeating System:	Ductwork	(unconditioned space	es):	
Door 0.50 0.50 Heating & Cooling Equipment Efficiency Heating System:	Glass & Door	Rating	U-Factor	SHGC
Heating & Cooling Equipment Efficiency Heating System: Cooling System:	Window		0.55	0.50
Heating System:	Door		0.50	0.50
Cooling System:	Heating & Co	oling Equipment	Efficiency	
	Heating S	ystem:		
Water Heater:	Cooling S	ystem:		
	Water He	ater:		
Name: Date:	Name:		Date:	
Comments	Comments			
		See 3, A021.00 For Required TR8 Energ	y Inspections.	
See 3, A021.00 For Required TR8 Energy Inspections.	cknowledgement:	considered a required part of this Con	nstruction Document set and thus	
Energy Compliance NOTE: All values noted (and listed) on this page are hereinafter Acknowledgement: considered a required part of this Construction Document set and thus must be applied by the Home Owner, Contractor and/or Sub-	•			

Blower Door Test: This project is an addition to an existing house which has no changes, making a blower

test impossible. The size of the addition is so small that it makes the blower test overkill, considering the addition, all 56 square feet, will far exceed the existing house.

Manufactured factory made doors and windows are tested by the manufacturer and aren't warranted.

The exemption for hand crafted site built windows and doors acknowledging that these types of units would not pass any test makes the above rule a burden on those spending more money to do the right thing.

All manufactured doors/ windows should have a rating that conforms to ECC code making the chart and testing unnecessary, putting the burden on the expert manufacturer, like a UL listing

for electrical fixtures.

This entire inspection checklist was clearly made by an engineer, and while it is relevant for new buildings, especially multiple-family or offices, it is over kill for small renovations and additions putting a financial burden onto the Architect who must absorb the time needed to complete the forms and inspections since most home owners do not acknowledge, understand or relate to the ECC or these requirements unlike a

developer.

2016 New York City Energy Conservation Code Energy **Efficiency Certificate**



PROJE	CT NAME
PROJE	CT LOCATION
CLIENT	CONTACT INFORMATION
Г	
PROJE	ECT TEAM
	ECT & ARCHITECTURAL FIRM • Architecture .llc
Nicholas Bud	ccalo, Architect 718-488-7894
526 Prospec Brooklyn, NY	t Avenue info@SimpleTwig.com / 11215 www.SimpleTwig.com
-	with a simple twig NY License: 024197
r	REPRESENTATIVE
CONSU	LTANTS - ENGINEERS
DATE	DESCRIPTION
	SUBMISSION TO DOB, PROJECT START
Aug 20, 2017	REVISION 1 (xxx.01)
	REVISION 2 (xxx.02)

REVISION 3 (xxx.03)

REVISION 4 (xxx.04)

3 - ACKNOWLEDGEWIENT & NOTES

MINIMUM INS	SULATION REQUIR	EMENTS for Kings	Country, NY: Climate	e Zone 4 as per Ta	ble R402.1.2
U.N.O.					
https://www1.	nyc.gov/assets/build	lings/apps/pdf_view	/er/viewer.html?		
file=2016ECC	CHR4.pdf§ion	energy_code_201	16		

NOTE: INSTALLATION OF INSULATION SHALL BE DONE AFTER ALL PLUMBING AND STRUCTURAL STEEL WORK IS COMPLETED. WELDING IS PERMITTED BEFORE INSTALLATION OF INSULATION, OR AFTER INSULATION IS FULLY PROTECTED BY GYPSUM WALL BOARD OR OTHER NON-FLAMABLE MATERIAL(S) THAT ARE PART OF THE FINAL BUILDING. During installation and up to th time the insulation is fully protected, an appropriate type of fire extinguisher shall remain on the job

site within reach of workers. CEILING/ROOF R-Value R49 min.**** 2x8 joist = 7.5" x R6.5/inch 'Closed Cell 2 lb foam' = R48.75 + tapered COMPLIES.

WALL R-Value **R19** min.** (R20 cavity + R5 Continuous = R25**) Contractor provide 3.5" (stud) x R6.5/inch 'Closed Cell 2 lb foam' = R22.75 + Insulated Mass Wall*** = COMPLIES w/ note **.

Note 1: that a portion of the half-bath stud wall is 2x6's equalling 5.5" x R6.5 = R35.75 < EXCEEDS. Note 2: Contractor fill ungrouted CMU cell cavities with loose fill or insulation inserts like vermiculite, perlite or foamed in place for total R-value of 2.27 per inch. As Reference only, an uninsulated 8" CMU wall = R1.11 (https://www.archtoolbox.com/materials-systems/ thermal-moisture-protection/rvalues.html)

FLOOR R-Value R30 min.** 2x6 joist = 5.5" x R6.5/inch 'Closed Cell 2 lb foam' = R35.75) = COMPLIES

CRAWLSPACE Wall R-Value R15 min. 3" rigid insulation @ R5 per inch = *COMPLIES*

DOORS & WINDOWS:

Fenestration Metal w/ Thermal Break 0.65 min. U-Factor, Double Pane (Bathroom Window) Table R303.1.3(1) Fenestration Wood w/ Metal Clad 0.55 min. U-Factor, Double Pane (Sidelights) Table R303.1.3(1) Wood Clad Door 0.50 min. U-Factor, (French Doors & Entry Door) Table R303.1.3(2)

(except that Table R402.1.2 states Fenestration U-Factor must be 0.32 min. and 0.40 for Glazed Fenestration SHGC* in Climate Zone 4) Air leakage (Mandatory). The building thermal envelope shall be constructed to limit air leakage in

accordance with the requirements of 2016 Energy Conservation Code, Chapter 4, R402.4: Residential Energy Efficiency Sections R402.4.1 to R402.4.6. 1-See Air Vent Note on Detail 2, A-010.00. COMPLIES.

2-See 'Rat' Slab Vapor Barrier Note on Detail 2, A-010.00 for Table R402.4.1.1 Crawl Space. COMPLIES. 3-No Recessed Light Fixtures as per R402.4.5: COMPLIES. 4-All Door and Window framing, shims, etc. shall be filled w/ expandable spray foam and as per R402.4.2 shall have an air infiltration rate of no more than 0.3cfm for windows and 0.5cfm for swinging doors. COMPLIES.

Hot Water Pipe Insulation as per R403.5.3 = R-value 3 min. See Special Note Detail 1, A-006.00 for both hot/cold water pipes. COMPLIES.

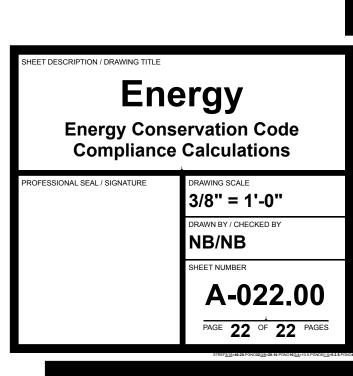
Bathroom Mechanical Ventilation Efficacy (cellar half-bath) as per Table R403.6.1 shall be 40cfm at 2.0cfm/watt. COMPLIES.

Cooling Systems: Not Applicable. COMPLIES. Heating Systems: As Proposed radiators (2) extension of existing Heating System: COMPLIES.

INSTALLATION NOTE: R303.1.1.1 Blown or sprayed roof/ceiling insulation. The thickness of blown-in or sprayed roof/ceiling insulation (fiberglass or cellulose) shall be written in inches (mm) on markers that are installed at least one for every 300 square feet (28 m2) throughout the attic space. The markers shall be affixed to the trusses or joists and marked with the minimum initial installed thickness with numbers not less than 1 inch (25 mm) in height. Each marker shall face the attic access opening. Spray polyurethane foam thickness and installed R-value shall be listed on certification provided by the insulation installer.

*The SHGC (Solar Heat Gain Coefficient) is the fraction of incident solar radiation admitted through a window, both directly transmitted and absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's solar heat gain coefficient, the less solar heat it transmits. **As per Table R402.1.2g. "Or insulation sufficient to fill the framing cavity, R-19 minimum." COMPLIES. ***Fill ungrouted CMU cell cavities with loose fill or insulation inserts like vermiculite, perlite or foamed in place for total R-value of 2.27 per inch.

**** As per R402.2.2 R30 deemed to satisfy... when area is less than 500 Square Feet. COMPLIES.



6 - PROJECT SPECIFIC NOTES - ENERGY

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