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PROJECT NAME
PROJECT LOCATION
OWNER

PROJECT TEAM	
ARCHITECT	
SimpleTwig Architecture.Ilc Nic Buccalo, Architect 718-488-7894 526 Prospect Avenue info@SimpleTwig.com Brooklyn, NY 11215 www.SimpleTwig.com <small>every nest starts with a simple twig... NY License: 024197</small>	
FILING REPRESENTATIVE	
CONSULTANTS	
Date	Description
Dec. 18, 2017	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE	
PROFESSIONAL SEAL / SIGNATURE	DRAWING SCALE
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PAGE	OF PAGES

BIND THIS SIDE

DEPARTMENT OF BUILDINGS

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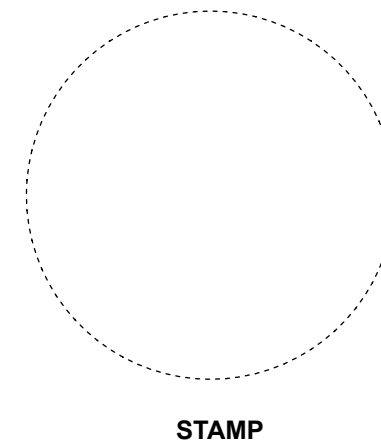
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**See A-022.00 for Energy Conservation Code Compliance Notes**

**Energy Compliance Acknowledgement:**

To the best of my knowledge, belief and professional judgement, these plans and specifications are in compliance with NYCECC.



STAMP

Signed/Stamped by Architect or qualified representative

**1 - ECC ACKNOWLEDGEMENT**

**ARCHITECTURAL DRAWINGS**

A-001.00	<b>Cover Page:</b>	Table of Contents, Zoning, Scope
A-002.00	<b>Legends:</b>	Safety/Smoke/Abbreviations/Legends
A-003.00	<b>Site Plan:</b>	Existing & New Site Plan, and, Survey
A-004.00	<b>Cellar Plan:</b>	Existing & New
A-005.00	<b>Grd Floor Plan:</b>	Existing Conditions and Scope of Demolition
A-006.00	<b>Grd Floor Plan:</b>	New Construction and Misc. Components
A-007.00	<b>Elevations/Sections:</b>	Existing/Demo & New Construction
A-008.00	<b>Upper Patio Details:</b>	Light well, Hatch & Concrete Components, Sections
A-009.00	<b>Wall Opening Details:</b>	(French Door) Sections/Elevation Details, Steel Angle Chart
A-010.00	<b>Addition Sections:</b>	Footing, Foundation, Floor and Roof Details
A-011.00	<b>Misc. Details:</b>	Reglet, Scupper, Downspout and Floor Transition Details
A-012.00	<b>Fence Elevation:</b>	Fence Section/Elevation and Plan, from Backyard Side
A-013.00	<b>Fence Elevation:</b>	East Fence Section/Elevation and Plan from Neighbor's Side
A-014.00	<b>Patio Plan:</b>	Finished Patio Plan, Drainage and Notes
A-015.00	<b>Patio Slab, Fence:</b>	Details of Fence and (Lower Patio) sub-slab topping for slope.
A-016.00	<b>Plumbing/Gas:</b>	Diagrams and Notes
A-017.00	<b>Door Schedule:</b>	Diagrams and Notes
A-018.00	<b>Wall/Ceiling Type:</b>	Stud Walls, Joist Ceilings - Construction Class
A-019.00	<b>Wall Types:</b>	Masonry, Stucco, Composite & Misc. Walls - Construction Class
A-020.00	<b>Specifications:</b>	General Materials/Finishes
A-021.00	<b>Inspections:</b>	Special Inspections & Notes, TR1 & TR8 Inspections
A-022.00	<b>Energy:</b>	Energy Conservation Code Compliance Calculations

**STRUCTURAL REFERENCES:**

LINTELS-Addition A-010.00	Detail 1	Reinforced Lintels over Door/Window openings in Addition.
LEDGER-Addition A-007.00	Detail 4	Ledger & Bolts for Floor/Roof joist support in Addition
REBAR-Hatch A-006.00 A-009.00	Detail 2 Detail 3	Rebar Plan Layout of Hatch/Beam only. Rebar/Angle Section of Hatch Beam.
REBAR-Addition: A-006.00 A-006.00	Detail 5b Detail 7	Vertical Rebar Layout Addition and Garden Walls. Footing Rebar Layout Plan Diagram - Addition only.
FOOTING-Addition: A-006.00 A-010.00	Detail 7 Detail 2	Footing Rebar Layout Plan Diagram for Addition. Footing Rebar Section and Concrete Mix for Addition only.
MISC-Fence/Slab: A-012.00 A-015.00 A-015.00	Detail 1 Detail 1 Detail 2	Typical Fence Post Conc. Footing. Fence Post Angles. Typical Patio Slab Reinforcing Wire.

All related fields are embedded within the Architectural Drawings typical:

- Civil Drawings:**  
C-001.00 No separate set for this category, see A-003.00 Site Plan in Architectural Drawing set.
- Demolition Drawings:**  
DM-001.00 No separate set for this category, see A-005.00 Architectural Drawings for scope of Demolition/Notes.
- Electrical Drawings:**  
E-001.00 No separate set for this category, see Plan Detail 1, A-006.00 of Architectural Drawings.
- Mechanical Drawings:**  
M-001.00 No separate set for this category, see Plan Detail 1, A-006.00 of Architectural Drawings.
- Plumbing Drawings:**  
P-001.00 No separate set for this category, see A-016.00 of Architectural Drawings.
- Structural Drawings:**  
S-001.00 No separate set for this category, see above, A-001.00 for Structural Reference Table of Contents to verify structure.
- Zoning Drawings:**  
Z-001.00 No separate set for this category, see A-001.00 Architectural Drawings.

**2 - TABLE OF CONTENTS**

This project consists of the construction of a small 1st floor extension to the back of an existing townhouse, built of masonry block, and the addition of 2 half-baths and new patio.

- ADDITION:** New Masonry Extension in backyard.
- FENCING:** New Fencing as shown.
- Hard (Patio) and Soft-scaping** of backyard.
- INSULATION:** See A-022.00.
- PLUMBING:** New plumbing for half-baths, new drain at light well, repair of existing area drains. Drip system for garden. Radiators in addition.
- ELECTRICAL:** Low voltage garden lighting and 3 exterior GFCI outlets with covers. Interior lighting in addition.

What is NOT a part of this project:

- STRUCTURE:** No change in the building primary structure; no change of existing masonry including footings, foundation wall, parti-walls, exterior walls, chimney or parapet. New footings do not extend below existing footings-no new cellar.
- GARAGE:** Garage is not part of this project.
- TRELLIS:** Trellis and its structure is not part of this project.
- French Door and Window Well (light well)** are NOT part of this project. Any reference to them should not be considered as part of the scope of this project.

What may NOT be part of this project:

- The portion of the lower patio, fence and parking space from the existing garage to the alley as noted on plans may be delayed until the start of the 'Garage Project' which is a separate DOB filing.

**3 - SCOPE OF WORK**

NYC Department of Buildings  
Property Profile Overview

Community Board: 31U  
Buildings on Lot: 2  
Condo: NO  
Vacant: NO

View DCP Addresses... Browse Block

View Zoning Documents View Challenge Results Pre - BIS PA View Certificates of Occupancy

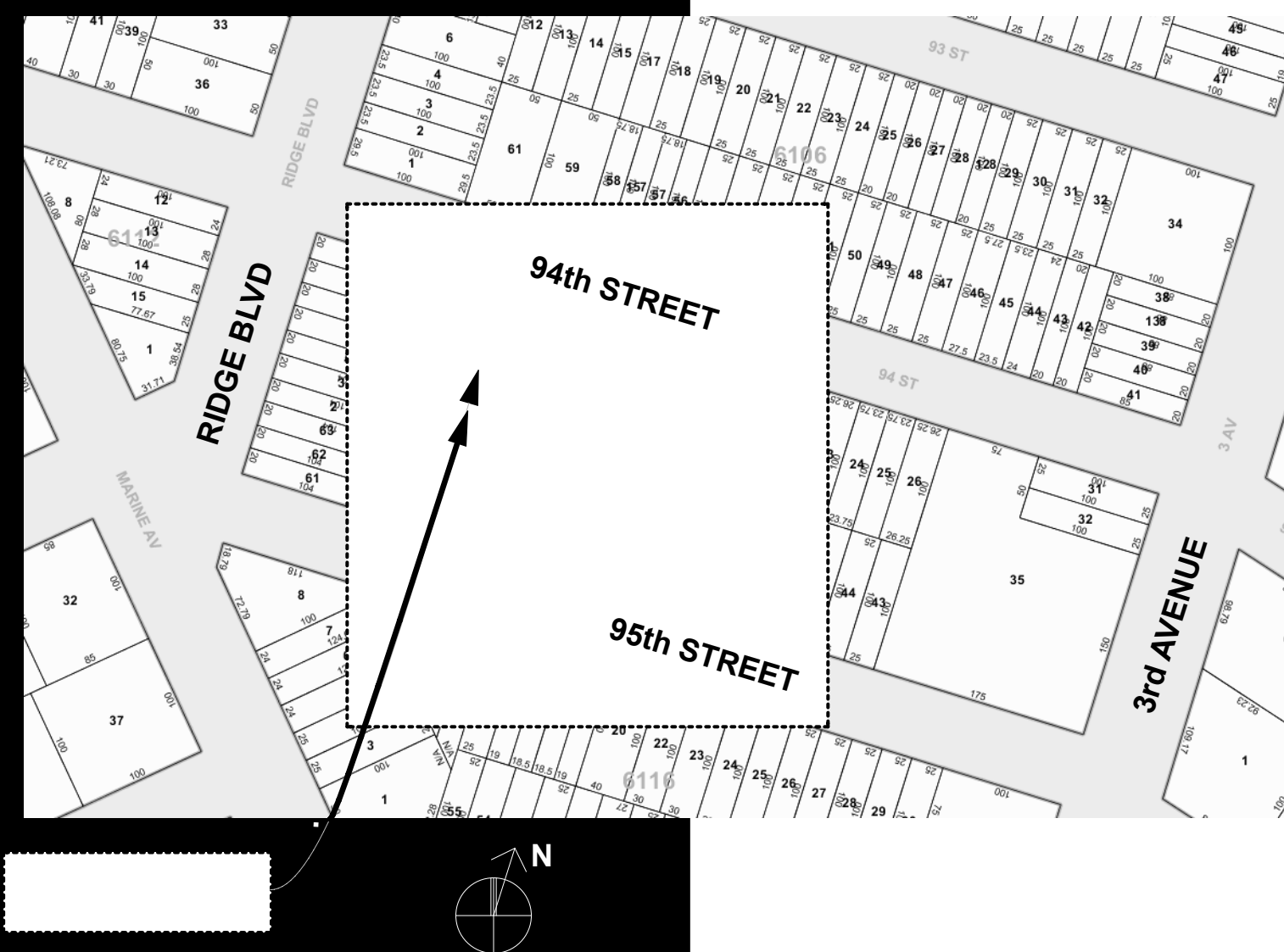
Cross Street(s): RIDGE BOULEVARD, 3 AVENUE

DOB Special Place Name:  
DOB Building Remarks:  
Landmark Status:  
Local Law: NO  
SRO Restricted: NO  
UB Restricted: NO  
Environmental Restrictions: N/A  
Legal Adult Use: NO  
Additional BINs for Building: 3155430

Special District: BR - BAY RIDGE

This property is not located in an area that may be affected by Tidal Wetlands, Freshwater Wetlands, Coastal Erosion Hazard Area, or Special Flood Hazard Area. [Click here for more information](#)

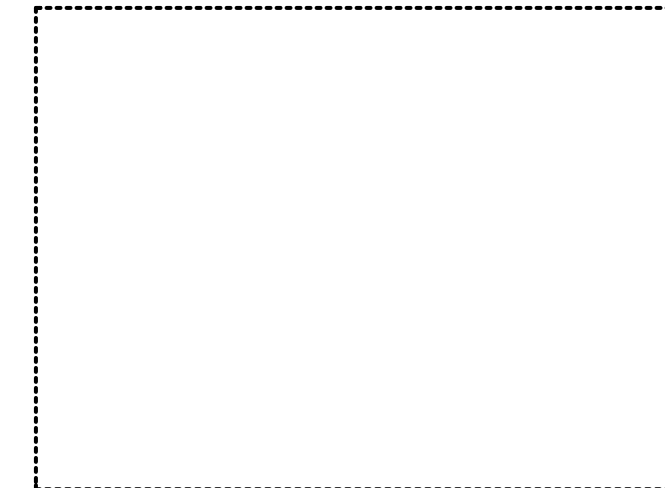
**4 - DOB PROJECT INFORMATION**



**5 - Location Plan - Tax Map**

Orientation based on floor plan orientation, typ. UNO.

**ADDITION PROJECT for**



**SPECIAL PURPOSE DISTRICT: BAY RIDGE (BR)**  
Article XI  
Chapter 4: Special Bay Ridge District

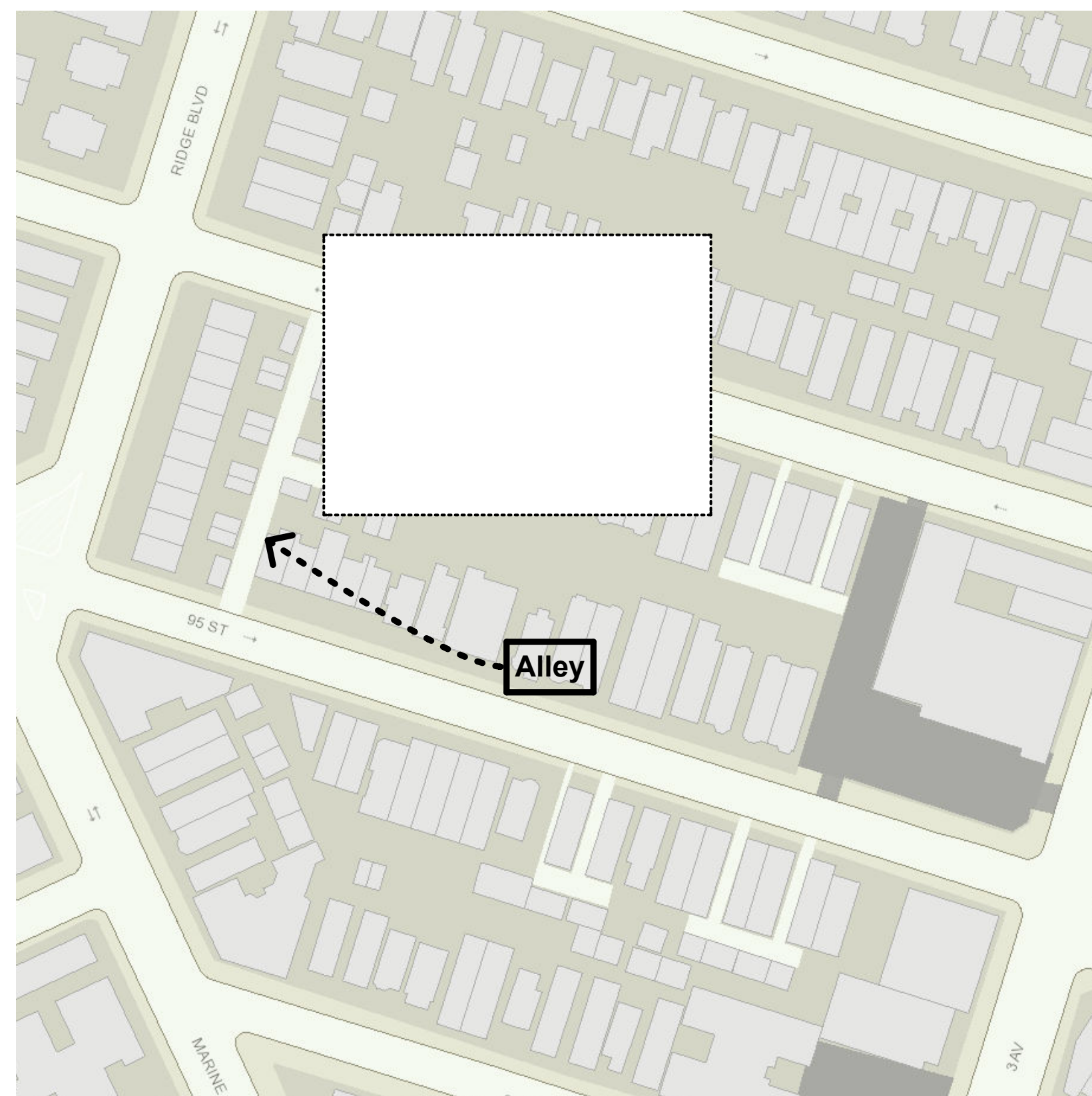
114-11 Special Floor Area Regulations (not applicable).  
114-12 Special Height and Setback Regulations (not applicable).  
114-121 Special Rooftop Regulations (not applicable).  
114-122 Maximum Building Height and Setback (not applicable).  
END

Conclusion: The provisions of the Special Bay Ridge District are not applicable to this project. **COMPLIES**

**ZONING INFORMATION:**

Zoning: R4-1  
Special Purpose District: Special Bay Ridge District  
Zoning Map: 22b; Historical Zoning Maps:22b

Address:21894 STREET,BROOKLYN11209  
Lot Area:1900 sf  
Lot Frontage:19' Lot Depth:100  
Year Built:1925  
Number of Buildings:2  
Number of Floors:2  
Gross Floor Area:1,216 sf (estimated)  
Residential Units:1 Total # of Units:1  
Land Use:One Family Buildings  
Landmark:No  
Historic District:No



**6 - ZONING**

**Section 23-14.**  
**Section 23-142** for R4-1  
Max FAR = .75 for R4-1  
Lot = 1900 SF x .75 FAR = 1425 SF.  
Existing Footprint = 19x30=570 SF/floor x 2 floors = 1140 Total Square Feet, Existing Floor Area.  
**COMPLIES.**

This lot can accommodate another 285 SF. (1425 SF - 1140 SF = 285 SF).

**Proposed:**  
See Plan Detail 5, A-006.00 for dimensions of addition.  
**5'-4" (5.33') x 10'-8" (10.66') = 56.8 SF or 59 SF.**  
**COMPLIES.**

**Max Yard Coverage** percentage, and, **Min. Required Open Space percentage: Not Applicable: Governed by Yard requirements.**

**Section 23-23** Minimum Size of Dwelling Units  
(b) R4-1 = 925 SF min. for at least one dwelling unit.  
**COMPLIES.**

**23-40 Yard Regulations:**  
**23-44 Permitted Obstructions** in Required Yards or Rear Yard Equivalents  
(2) Arbors or trellises;

**Yard Setback = 30'. HOUSE PLUS ADDITION = COMPLIES**

**23-10 OPEN SPACE AND FLOOR AREA REGULATIONS**  
R1 R2 R3 R4 R5 R6 R7 R8 R9 R10  
In all districts, as indicated, the #open space# and #floor area# provisions for a #building or other structure# shall be as set forth in this Section, inclusive.

**Section 23-12.** Permitted Obstructions in Open Space Permitted:

(b) Awnings and other sun control devices. (Noted for Owner Future Option).

(e) Driveways, private streets, open #accessory# off-street parking spaces, unenclosed #accessory# bicycle parking spaces or open #accessory# off-street loading berths, provided that the total area occupied by all these items does not exceed the percentages set forth in Section 25-64 (Restrictions on Use of Open Space for Parking);

(f) Eaves, gutters or downspouts, projecting into such #open space# not more than 16 inches or 20 percent of the width of such #open space#, whichever is the lesser distance;  
**COMPLIES: See Misc. Details, Detail 2, Option 1 eave dimension.**

(h) Parking spaces, off-street, enclosed, #accessory#, not to exceed one space per #dwelling unit#, when #accessory# to a #single-family#, #two-family# or three-#family residence#, provided that the total area occupied by a #building# used for such purposes does not exceed 20 percent of the total required #open space# on the #zoning lot#.  
**COMPLIES: One parking space shown on Site Plan.**



PROJECT NAME

PROJECT LOCATION

CLIENT CONTACT INFORMATION

**PROJECT TEAM**

ARCHITECT & ARCHITECTURE FIRM  
**SimpleTwig - Architecture, LLC**  
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every nest starts with a simple twig... NY License: 024197

FILING REPRESENTATIVE

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**Cover Page**  
TOC, Zoning, Scope

PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE  
**3/8" = 1'-0"**

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**A-001.00**

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NOTE: Line weights used are relative to the scale of the drawing, but in general 4 line weights are chosen for each scale/dwg as represented below.

- Lightest Weight Line: Reference Line
Regular Line: Line representing an object.
Cut Line: Line cut through an object.
Profile Line: Special outline line, around an entire bldg.

Actual line and relative thicknesses used. Color references for consultants only.

Table with 2 columns: Pen # and Line Type. Includes Pen 1 (Pt. 0.55-orange), Pen 2 (Pt. 1.00-dark yellow-green), Pen 3 (Pt. 1.50-green), Pen 4 (Pt. 2.25-blue-green), Pen 5 (Pt. 3.00-blue), Pen 6 (Pt. 4.13-black), Pen 7 (Pt. 5.25-black), Pen 8 (Pt. 7.50-grey), Pen 9 (Pt. 10.0-grey), Pen 10 (Pt. 1.50-red).

General Line Types and Symbolic Line Types table. Describes line styles for physical objects, bearings, and property lines.

Main table for line types including MAIN LINE, ABOVE LINE, BELOW LINE, MISCELLANEOUS, and PLUMBING/ELECTRIC LINE TYPES with corresponding symbols and descriptions.

1 - LINE TYPE & STYLE LEGEND

Electrical Symbols:

- Switch - New or Relocated as Required. Single, Double.
Switch - Existing. No change required. Single, Double.
Outlet - New or Relocated as Required. Single, Double, Triplex, Quad.
Outlet - Existing. No change required. Single, Double, Triplex, Quad.
Light Fixture - New or Relocated as Noted. Connections to switches and/or other light(s) as req'd, see plans. Must be UL approved.
Light Fixture - Existing. No change required except connections to switches and/or other light(s). Confirm UL rated and fixture is functioning properly typ.

Power and Meters

- Circuit Breaker Panel: location as noted on plan.
Electric Meter
Gas Meter
Recessed Downlight - New Recessed Light Fixture.
Wall Sconce - New Light Fixture.
Bathroom Vent - 40 cubic feet / minute flow UNO. Exhaust directly to exterior typ. In full bathrooms w/ tub/shower, use moisture resistant unit and duct.

Misc., Communication and Service

- Telephone - Existing or New. Size and Location as noted on plan.
Cable Ready Junction Box: (provide full junction box) and co-axial Connector. Connect to coaxial cable, one cable per junction box (no daisy chain) to Basement/Cellar Floor Mechanical Room Wall Mounted Box to serve each apartment. See Additional Notes on Specifications page, Detail 3.
Thermostat: location to remain or adjust as required.

VENTS & DUCT Symbols:

- Bathroom/Closet Exhaust Vent - 40 cfm minimum exhaust to exterior.
Bathroom/Closet Exhaust Vent & Light Combination - 40 cfm minimum exhaust to exterior.
2 Hour Rated Stainless Steel Duct - See Specification Notes. Double Walled typ.
Round Duct - Toned is Vertical Duct. No tone with dashed lines is horizontal reference symbol. See 1, Line Types for example of horizontal.

HVAC Symbols:

- Ceiling Fan - Existing or New. Size and Location as noted on plan. May or may not have fill on blades/motor.
Air Conditioner - Represents either the entire unit, or part of a system as in the condenser only. See plan for notes and clarification.
Radiators - Existing or New. Size and Location as noted on plan.
Forced Air Heating/Cooling System - Existing or New. Heat Pump Type.
Boiler or Furnace Heating System - Existing or New. Either Natural Gas or Oil Fuel.
Hot Water Tank - Existing or New. Size and Location as noted on plan.
Instant Hot Water Tank - Existing or New. Size and Location as noted on plan.
3D Model Symbol
2D Graphic Symbol
Small Condenser Unit - Existing or New.
Medium Sized Condenser Unit - Existing or New. 22'-6" high UNO.
Large HVAC Unit - Existing or New.

3 - ELECTRIC & HVAC RELATED SYMBOLS

EXISTING

- Existing walls to remain-No Fill
Existing walls for Demo-100% Fill
Existing Masonry to Remain, FireProof Construction. Masonry is indicated with a 45° angle hatch.

NEW CONSTRUCTION

- Existing Walls to Remain: No Fill. Some existing walls may remain on a New Floor Plan.
New Interior Partition/Stud Wall: 2x4 @ 16" OC w/ 5/8" GWB, partition, non-load bearing.
New Interior 'Load-Bearing' Stud Wall: 2x4 @ 16" OC, 5/8" GWB; Single Floor/Double Head Plates; Provide Lintels over openings. Provide Bracing between studs @ 4' OC.
New CMU Masonry: (heavy fill line weight to indicate new construction).
New Brick Masonry: (heavy fill line weight to indicate new construction). Note 45° 'tight' hatch with heavy line weight.

WALL MODIFIERS

- 2 HR Fire Rated Stud Wall Indicator (CL of noted wall): This indicator line type will appear at the center line of any wall type that is 2 Hr. Rated.
2HR and/or Bearing Wall Stud Wall Indicator (CL of noted wall): This indicator line type will appear at the center line of any wall type that represents a bearing wall.

See Wall Types page, if provided, in this set for complete legend of specific Wall Types, details and notes.

5 - WALL TYPE LEGEND

Discipline Designators (Sheet Number Letter Indicators used): Pages will be listed in the Table of Contents, and ordered within a set of Construction Documents, in alphabetical order. Always refer to the Table of Contents to determine if drawings are part of a Construction Document set. Note that Electrical 'E' drawings need not be submitted to the DOB and may be bound separately.

Table of Discipline Designators (ANT, B, BPP, CC, EC, etc.) and Professional Designators (AC, APPN, BC, HPD, etc.) with their respective meanings and standards.

6 - DISCIPLINE (SHEET) DESIGNATORS REF.

Table of abbreviations for various building components like ACST, ABV, ADH, etc.

Table of abbreviations for materials and finishes like BLDG, BLKG, BLT-IN, etc.

Acronym Glossary and Work Type Acronyms table.

Table of Professional Designators and Building Type Acronyms.

8 - ABBREVIATIONS

Smoke Detector/Carbon Monoxide (CO2) Detector

Table of symbols and notes for smoke and CO2 detectors, including project name, location, client contact information, and filing representative details.

10 - SMOKE & CO2 NOTES

EMERGENCY / FIRE DETECTION Symbols:

- Emergency Exit sign and LED Lighting: See signage page for specifics.
Smoke Detector & CO2 Detector Combo: Hardwired with battery backup.
Fire Alarm Pull: Interior Wall Mounted.
Alarm Siren: Interior Wall Mounted.
Fire Hydrant: Exterior only.
Fire Extinguisher: Individual Unit only.
Fire Extinguisher Cab.: Recessed Cab.
Siamese Connection: Wall Mounted.
Stand Pipe: Interior Use.
Hose Swing Rack: Wall Mounted.
Hose Fire Cabinet: Wall Recessed.
Hose Reel Rack: Wall Mounted.

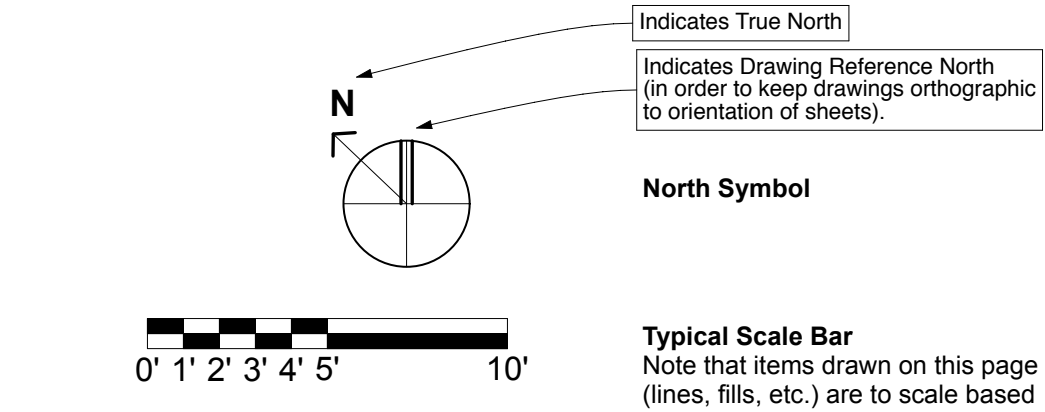
NOTATION INDICATORS: Other indicators may be present on the plans, to note a series of similar items, like 'Light & Ventilation' requirements.

Table of notation indicators for general notes, important notes, indicated components, and special notes.

2 - FIRE & NOTATION INDICATOR LEGEND

- Revision Marker
Window/Door Indicator: Numbered in sequence, starting with floor indicator: C=cellar, B=basement, 1=1st floor, etc. Example 1-3 is the 3rd door on the 1st floor.
Building & Unit Entrance: Numbered

- Match Line Symbol: Used when a drawing does not fit on a page and has to be split, the match line allows for alignment.
Scale Symbol (or similar, see below)
Column Line Indicator
Handicap Indicator: Used on parking spaces, signs, etc. indicates Handicap accessibility meeting ADA guidelines.
Wall Type Indicator: Refer to 'Wall Types' page chart if provided. 'C' indicates columns, '4' indicates horizontal rows on chart.
Elevation/Section Detail Indicator: Top number is Detail Number, the bottom number is the page number.



4 - DRAWING REFERENCE SYMBOLS

CUT (Plan/Section) MATERIALS

Table of materials and fill types categorized by Masonry, Soft, Natural, and Other Metals.

7 - FILL TYPES

GRAPHIC INDICATORS

Table of graphic indicators for floor openings, face of material (elevation and plan), and face of material (plan).

Read & Implement all safety rules before...

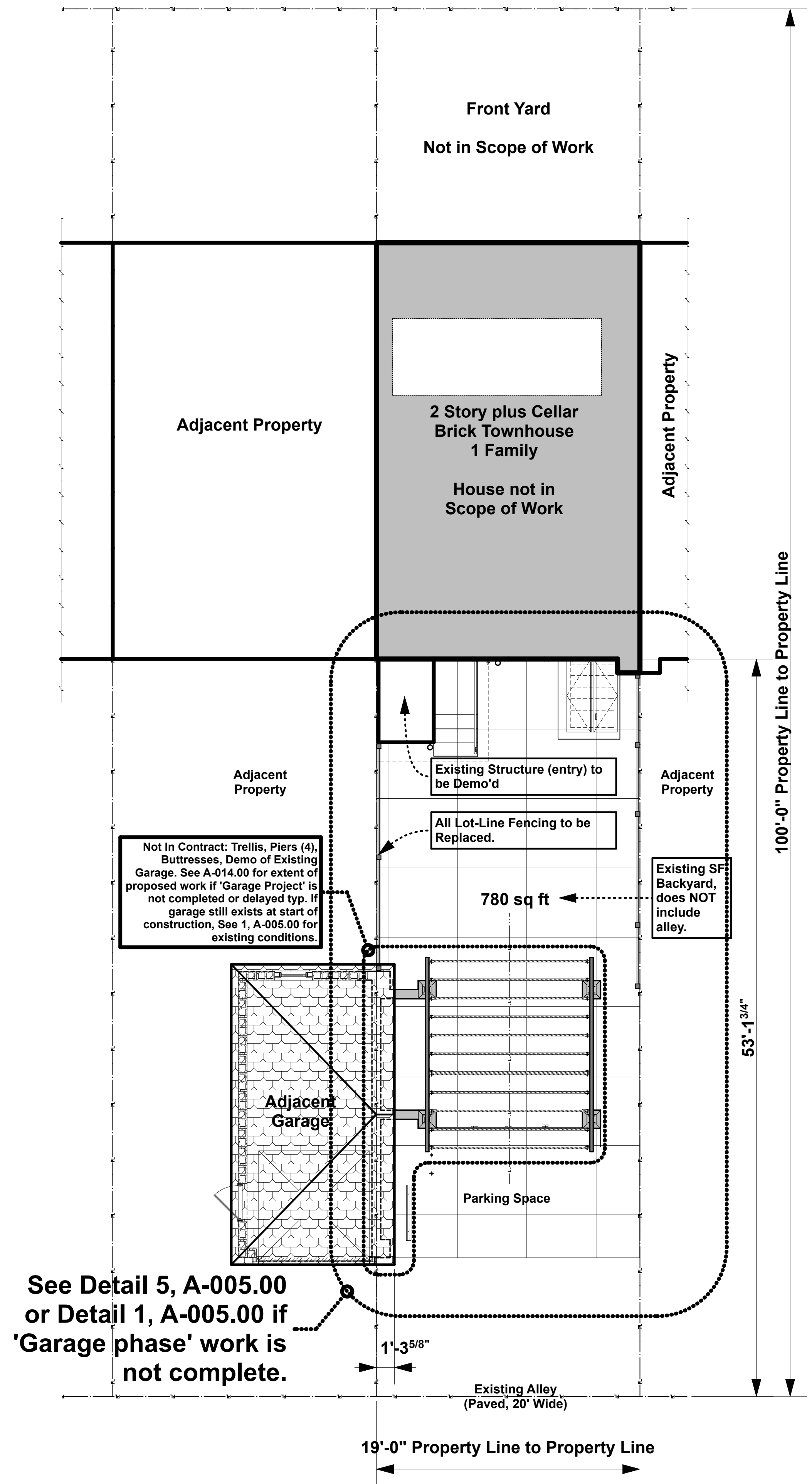
- Read & Implement all safety rules before...
FLOOR OPENINGS: All openings shall have...
ELECTRICAL SAFETY:
FIRE:
SAFETY NOTES: see Tenant Protection Plan on separate architectural drawing for additional requirements.

9 - SAFETY NOTES, see Tenant Protection Plan on separate architectural drawing for additional requirements.

Legends Misc. Notes: Safety, Smoke/Co2, Abbreviations, and Legends. Includes sheet number A-002.00 and project details.

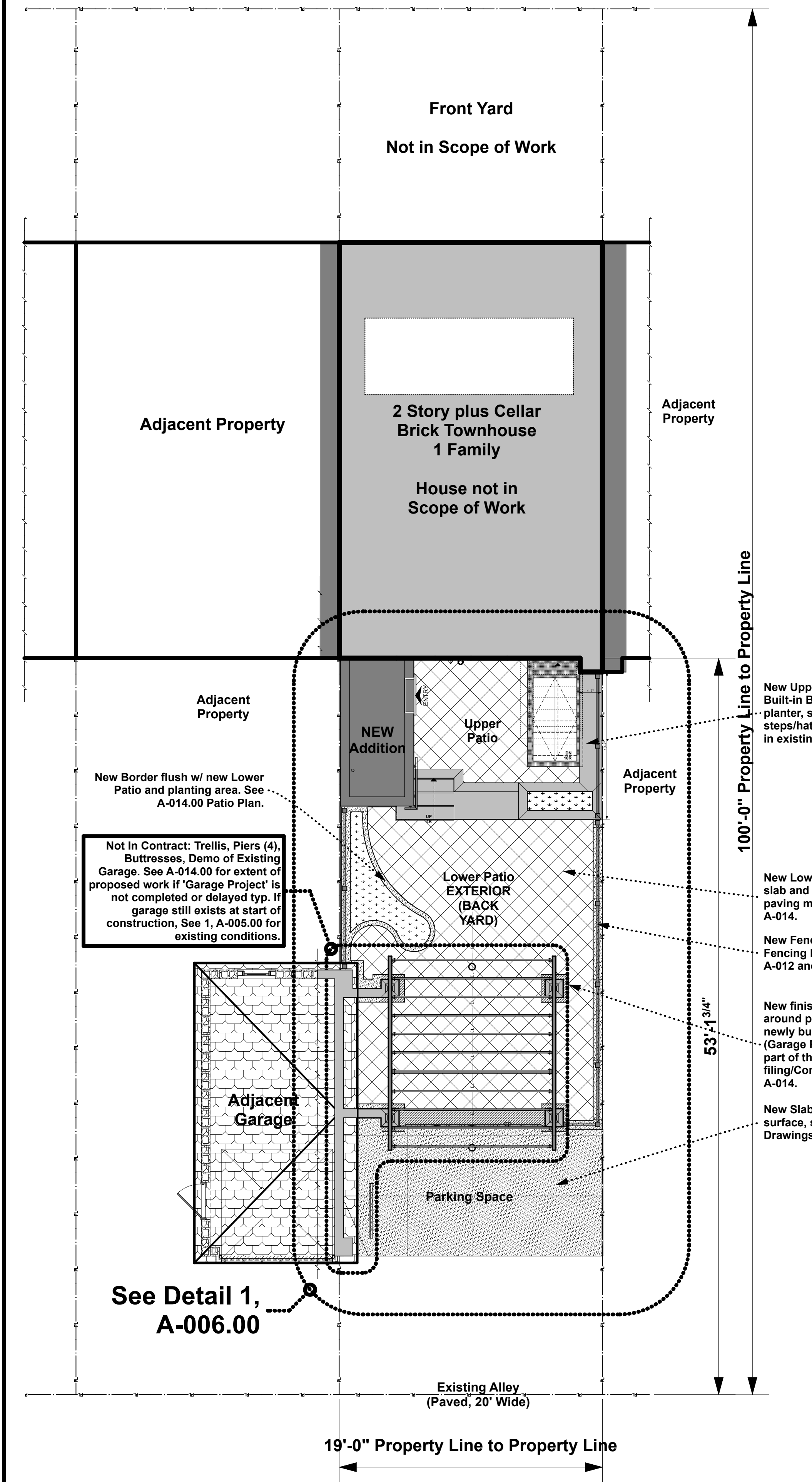


94th STREET

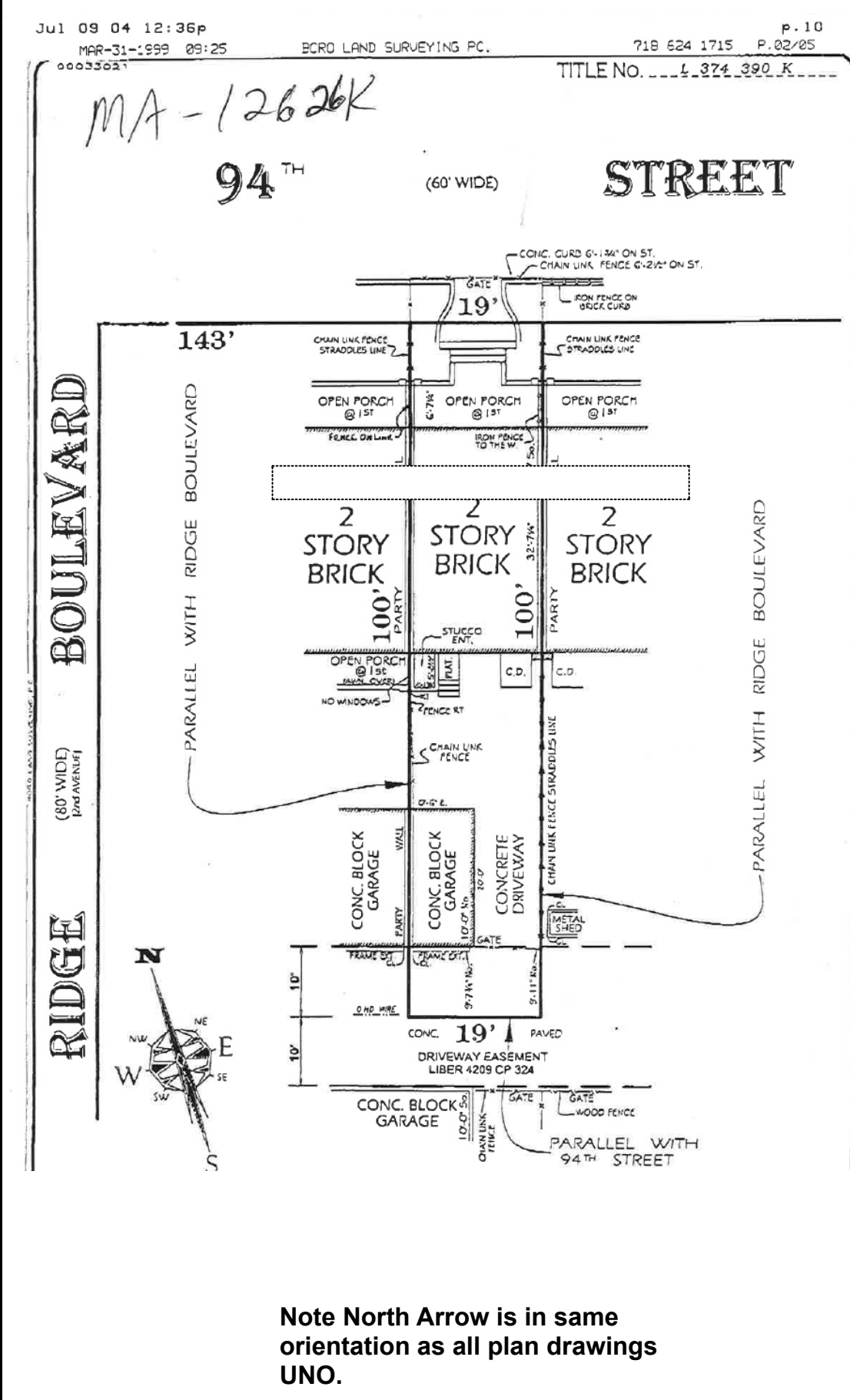


1 - EXISTING SITE PLAN

94th STREET

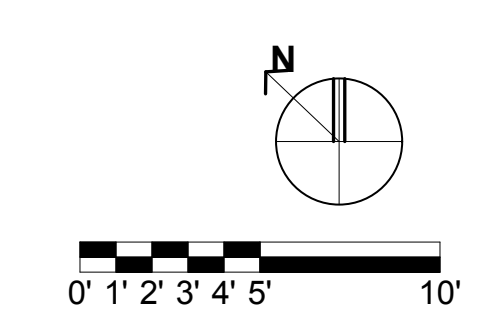


2 - PROPOSED/NEW SITE PLAN



3 - SURVEY (NTS)

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ARCHITECT & ARCHITECTURAL FIRM SimpleTwig - Architecture, LLC Nicholas Buccalo, Architect 718-488-7894 528 Prospect Avenue info@SimpleTwig.com Brooklyn, NY 11215 www.SimpleTwig.com every nest starts with a simple twig... NY License: 024197	
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**Site Plan**  
Existing & New Site Plan, Survey

PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE  
3/16" = 1'-0"

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4 - Project Specific Notes

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DEPARTMENT OF BUILDINGS



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**PROJECT NAME**  
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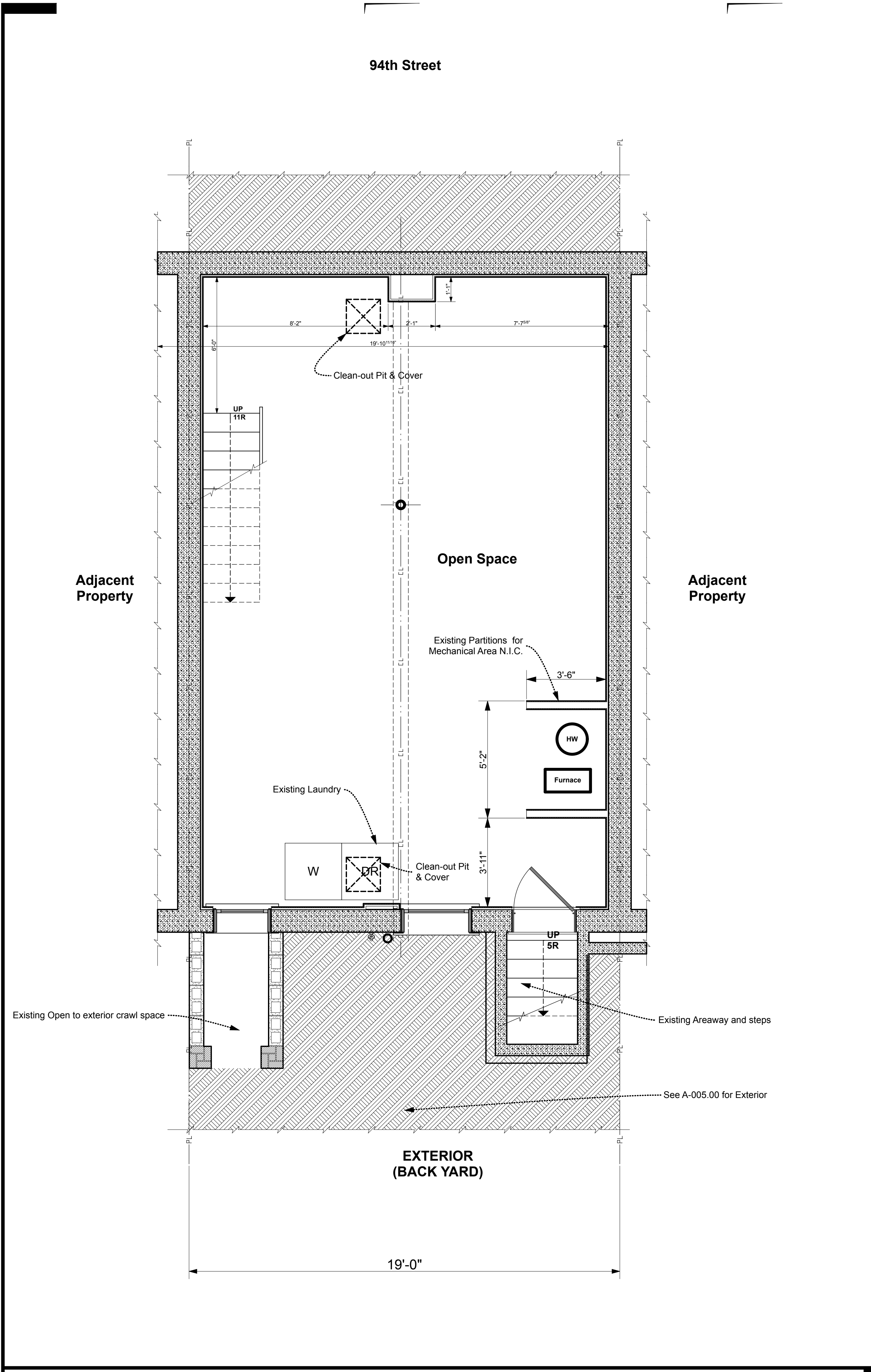
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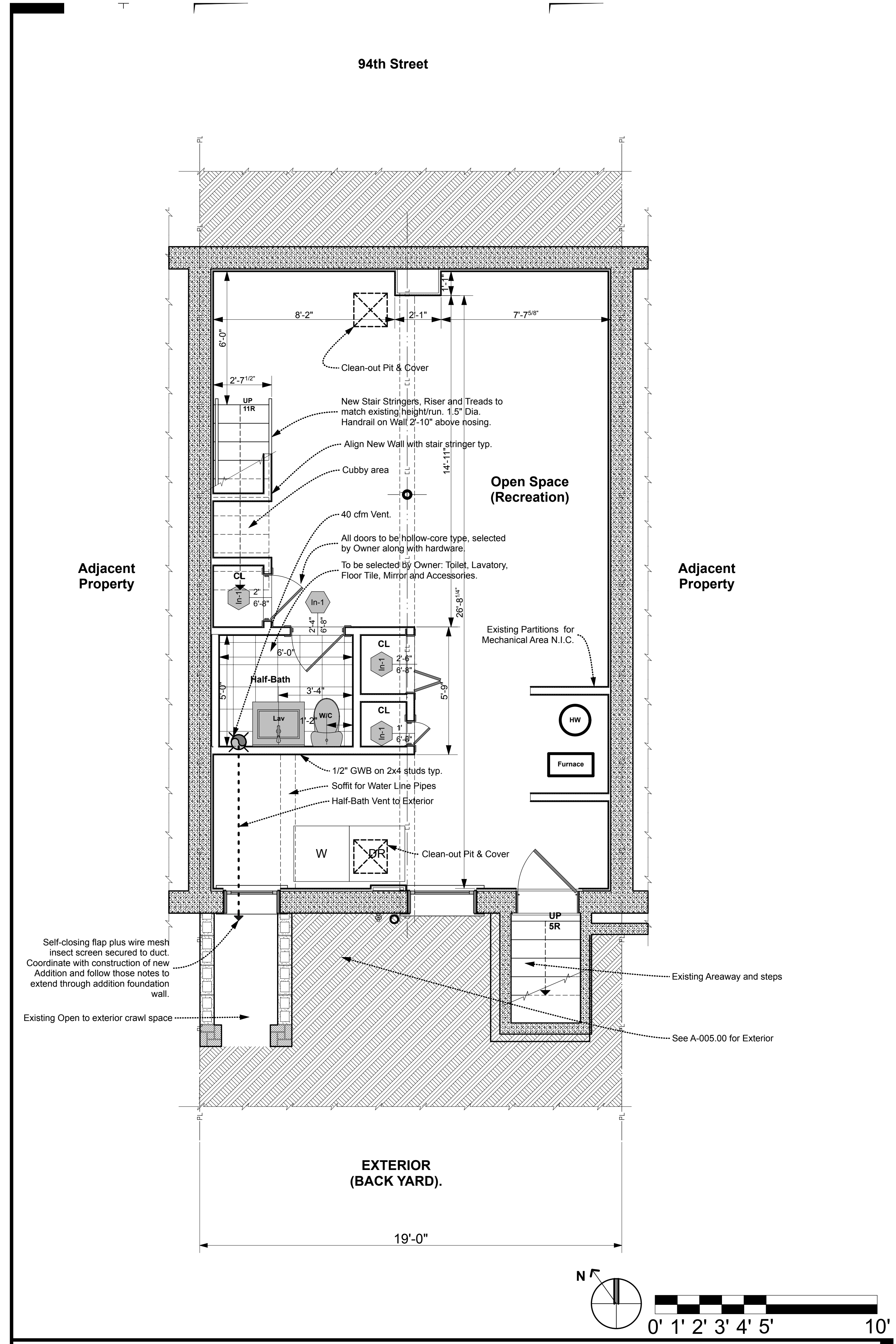
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**Cellar Plan**  
 Existing & New

PROFESSIONAL SEAL / SIGNATURE: \_\_\_\_\_  
 DRAWING SCALE: **3/8" = 1'-0"**  
 DRAWN BY / CHECKED BY: **NB/NB**  
 SHEET NUMBER: **A-004.00**  
 PAGE **04** OF **22** PAGES



1 - Existing CELLAR Floor Plan

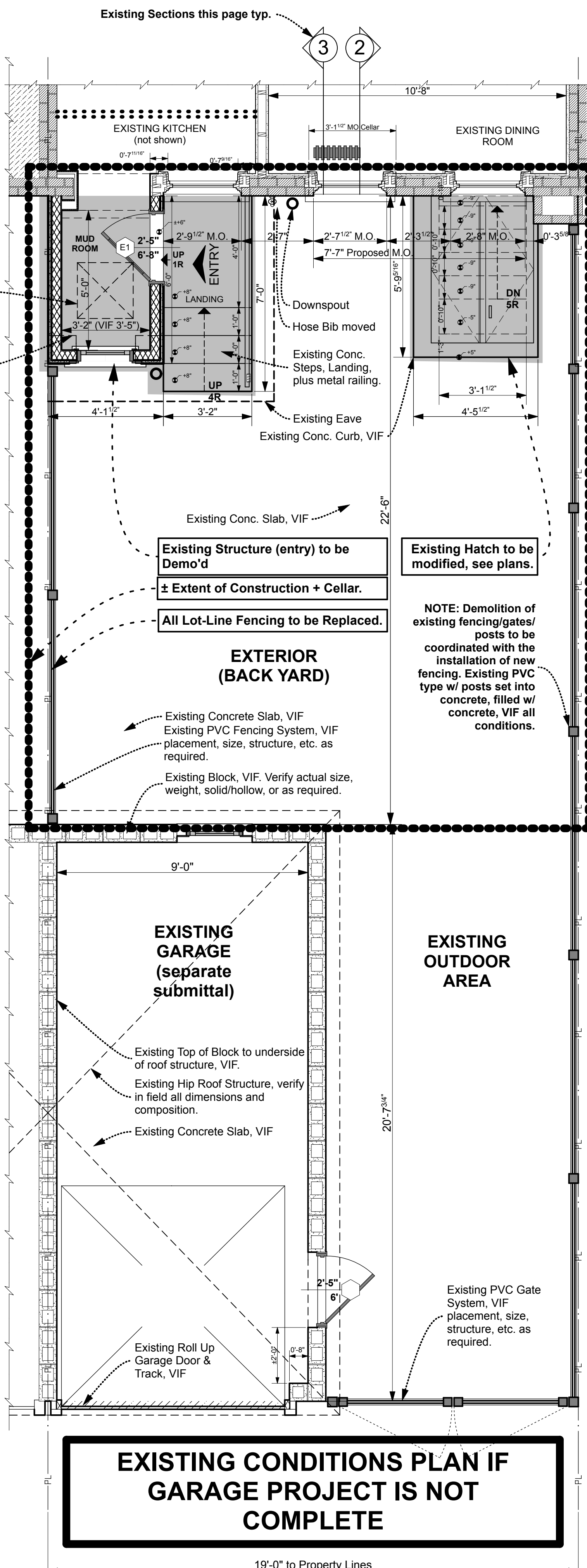


2 - Proposed CELLAR Floor Plan

DEPARTMENT OF BUILDINGS



94th Street



Verify all existing conditions, dimensions, materials, structure, etc. in field (VIF) typ.

DEMO: Shut off and cap all utilities that run through structures to be demo'd.

All Demolition Work to be performed by hand starting from the roof (complete removal), then the walls (sheathing first, then stud walls w/ last stud wall braced before 2nd stud wall is removed), then floor/joists, then foundation walls.

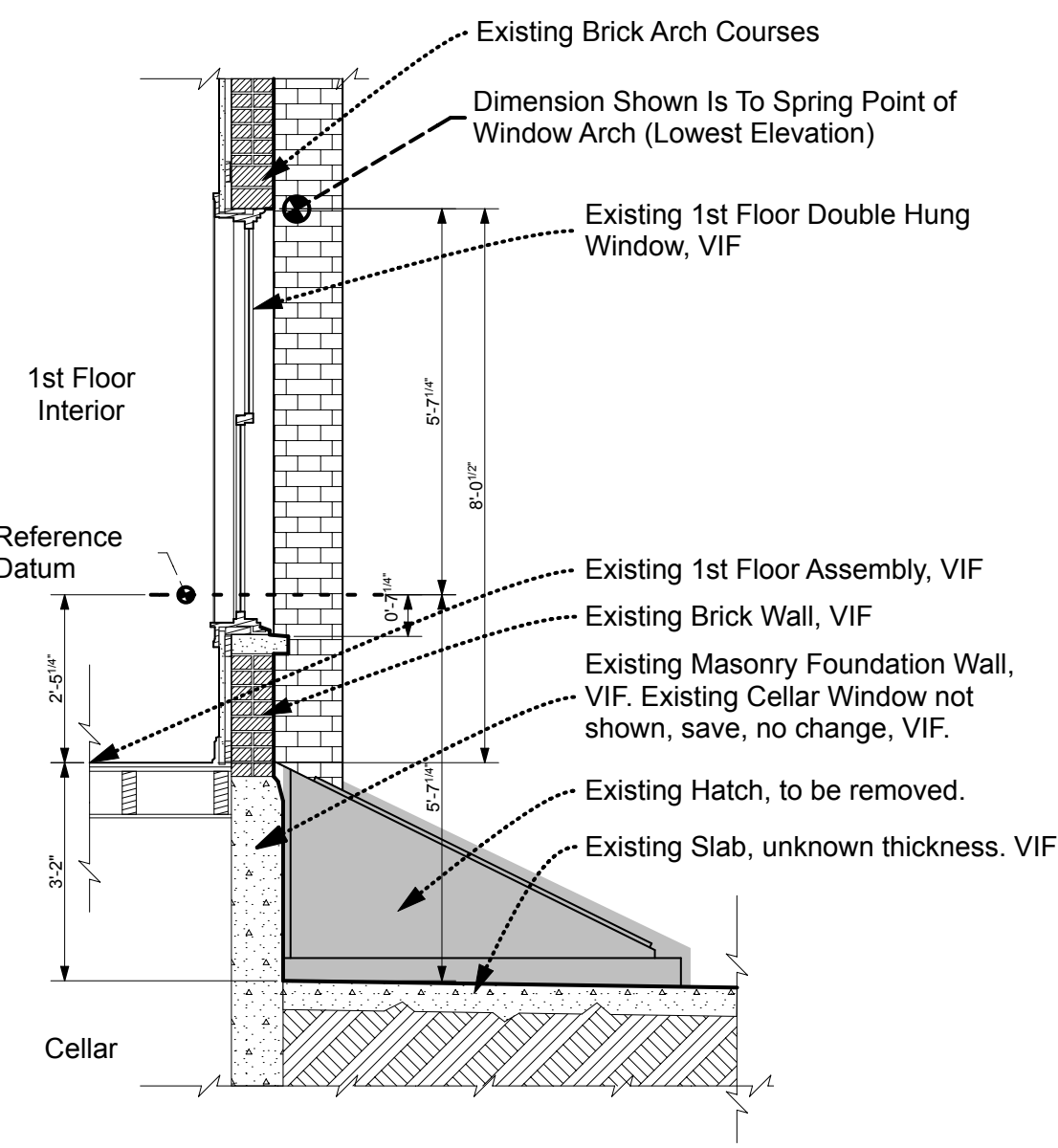
Any damaged existing masonry work exposed by the demolition on the existing house shall be repaired immediately including repointing. Verify steel lintels over exposed opening and replace if needed to meet code.

Install a temporary 2x4 stud wall on 1"x4" flexible foam all around secured to masonry w/ 3/4" plywood on both sides w/ 2 layers of 3 mil plastic on the exterior. Caulk all around to make weather tight and leave in place until new addition is built to keep the residence secured.

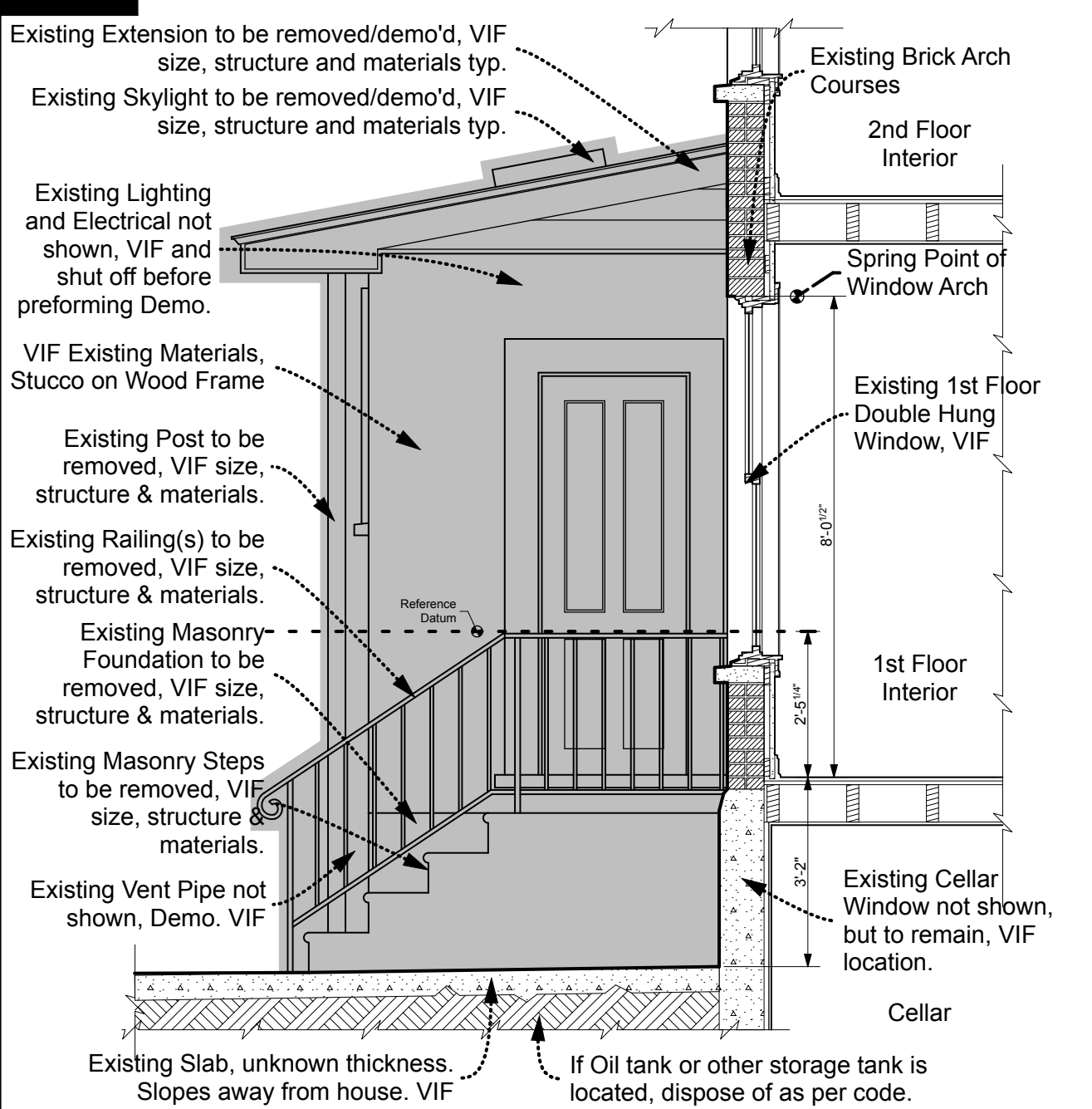
**EXISTING CONDITIONS PLAN IF GARAGE PROJECT IS NOT COMPLETE**

NOTE: If the Garage has NOT been Demo'd as per separate Contract/DOB Filing, then this is what the Existing Backyard looks like.

1 - Existing/Demo GROUND Floor Plan (Backyard Plan)



2 - Existing/Demo Section at Rear Facade



3 - Existing/Demo Section at Rear Facade/Extension

**NO FRENCH DOOR + SIDELIGHTS THIS PROJECT. ANY NOTES REFERRING TO IT HAVE BEEN SUPERSEDED AND NO LONGER APPLY.**

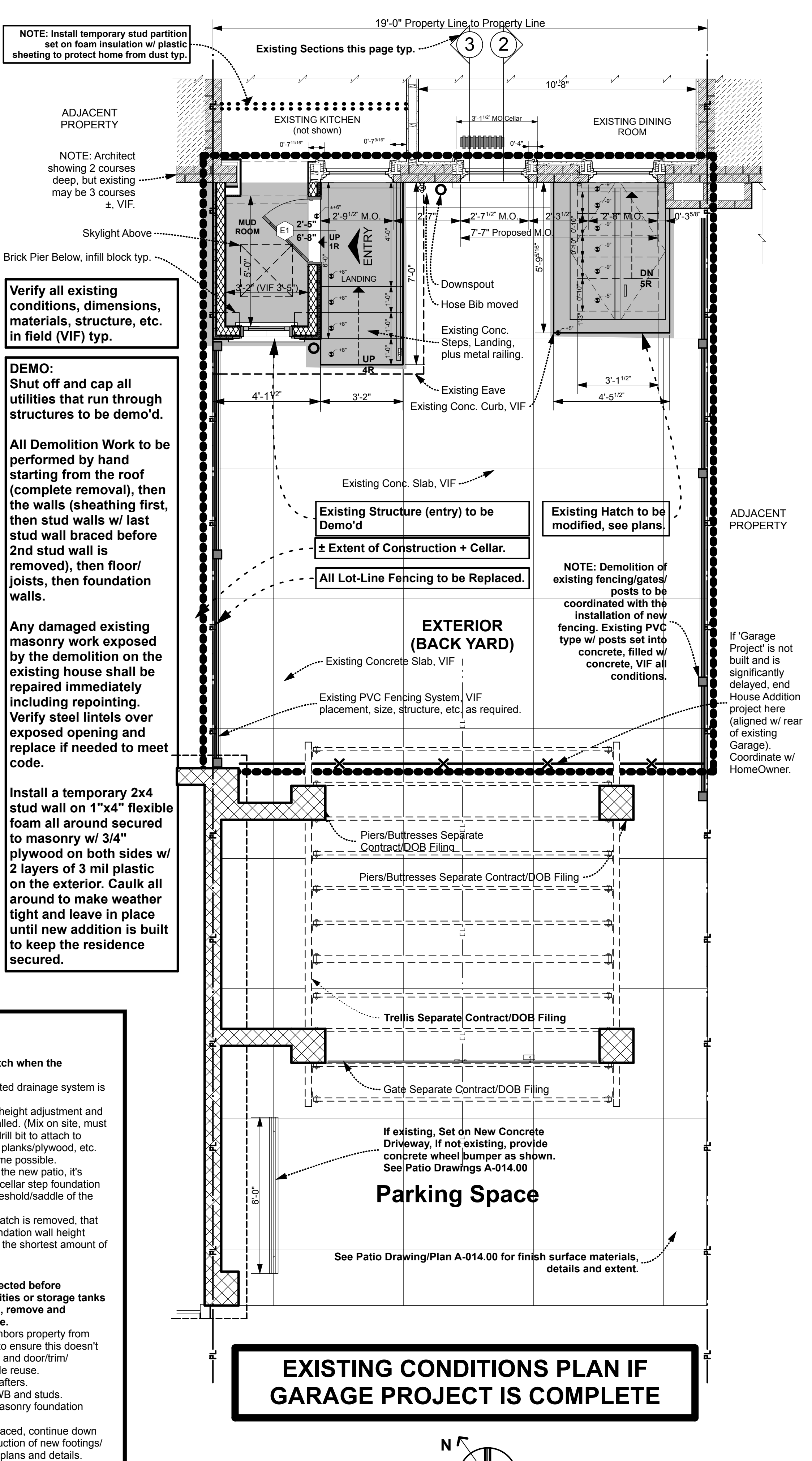
**PARTIAL MASONRY FACADE DEMOLITION & INSTALLATION OF NEW DOOR SYSTEM:**

- 1) Installation of new French-Style Door and Structural Lintel, in the following order. Read entire directions before proceeding. Before starting work, have door unit on site, and steel lintels, (including one with integrated drip edge), new precast masonry sill, mortar, bricks, etc. to complete entire project without unnecessary delays.
- 2) Remove exterior door (brick course below arches) and 4" bearing area either side to allow steel lintel w/ integrated drip edge to support upper brick course (leave brick in place until ready to be removed).
- 3) Day-5 (or later) after masonry work is complete (naturally sound) Remove interior door (w/ casing trim) as required to install new steel lintel(s) and fill from steel lintel up to existing brick as required with new brick masonry.
- 4) Allow all mortar to cure before proceeding. 3-day minimum setting period for mortar.
- 5) Remove exterior door (brick course below arches) and 4" bearing area either side to allow steel lintel w/ integrated drip edge to support upper brick course (leave brick in place until ready to be removed).
- 6) Install new precast masonry sill, mortar, bricks, etc. to complete entire project without unnecessary delays.
- 7) Remove stucco, sheathing, GWB and studs.
- 8) Remove masonry steps and masonry foundation walls to grade.
- 9) If new foundations are being placed, continue down to new depth and start construction of new footings/foundation walls according to plans and details.

NOTE: The above are 'Project Specific Notes.' See General Demolition, Safety and Debris Removal Notes as well.

4 - Demo Notes - Project Specific Demo Notes

94th Street



Verify all existing conditions, dimensions, materials, structure, etc. in field (VIF) typ.

DEMO: Shut off and cap all utilities that run through structures to be demo'd.

All Demolition Work to be performed by hand starting from the roof (complete removal), then the walls (sheathing first, then stud walls w/ last stud wall braced before 2nd stud wall is removed), then floor/joists, then foundation walls.

Any damaged existing masonry work exposed by the demolition on the existing house shall be repaired immediately including repointing. Verify steel lintels over exposed opening and replace if needed to meet code.

Install a temporary 2x4 stud wall on 1"x4" flexible foam all around secured to masonry w/ 3/4" plywood on both sides w/ 2 layers of 3 mil plastic on the exterior. Caulk all around to make weather tight and leave in place until new addition is built to keep the residence secured.

**EXISTING CONDITIONS PLAN IF GARAGE PROJECT IS COMPLETE**

NOTE: If the Garage has NOT been Demo'd as per separate Contract/DOB Filing, then this is what the Existing Backyard looks like.

5 - Existing/Demo GROUND Floor Plan (Showing Finished Trellis Structure)



PROJECT NAME

PROJECT LOCATION

CLIENT CONTACT INFORMATION

PROJECT TEAM

ARCHITECT & ARCHITECTURAL FIRM

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CONSULTANTS - ENGINEERS

DATE DESCRIPTION

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DATE DESCRIPTION

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**Ground Floor Plan**

Existing Conditions and Scope of Demolition

PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE

3/8" = 1'-0"

DRAWN BY / CHECKED BY

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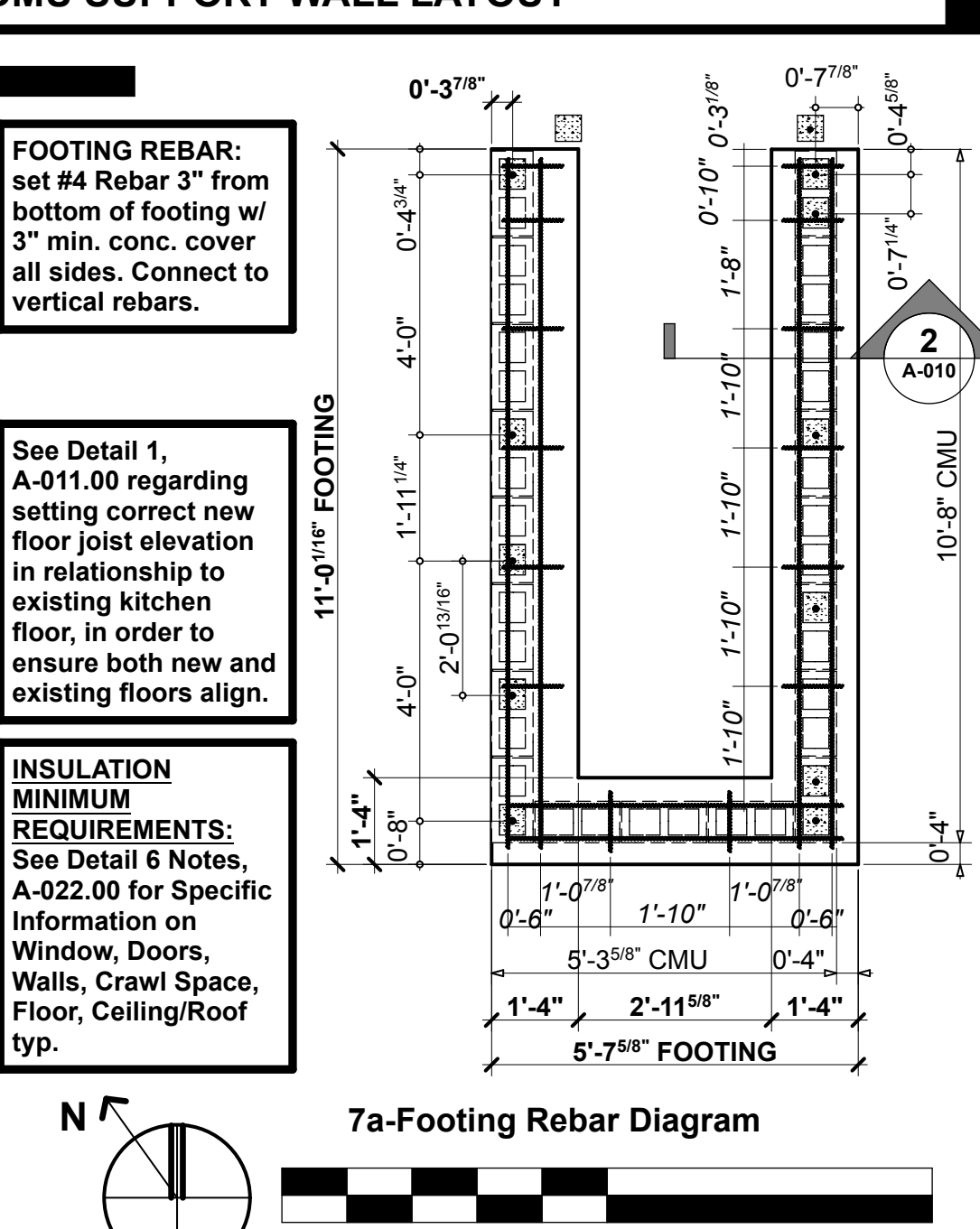
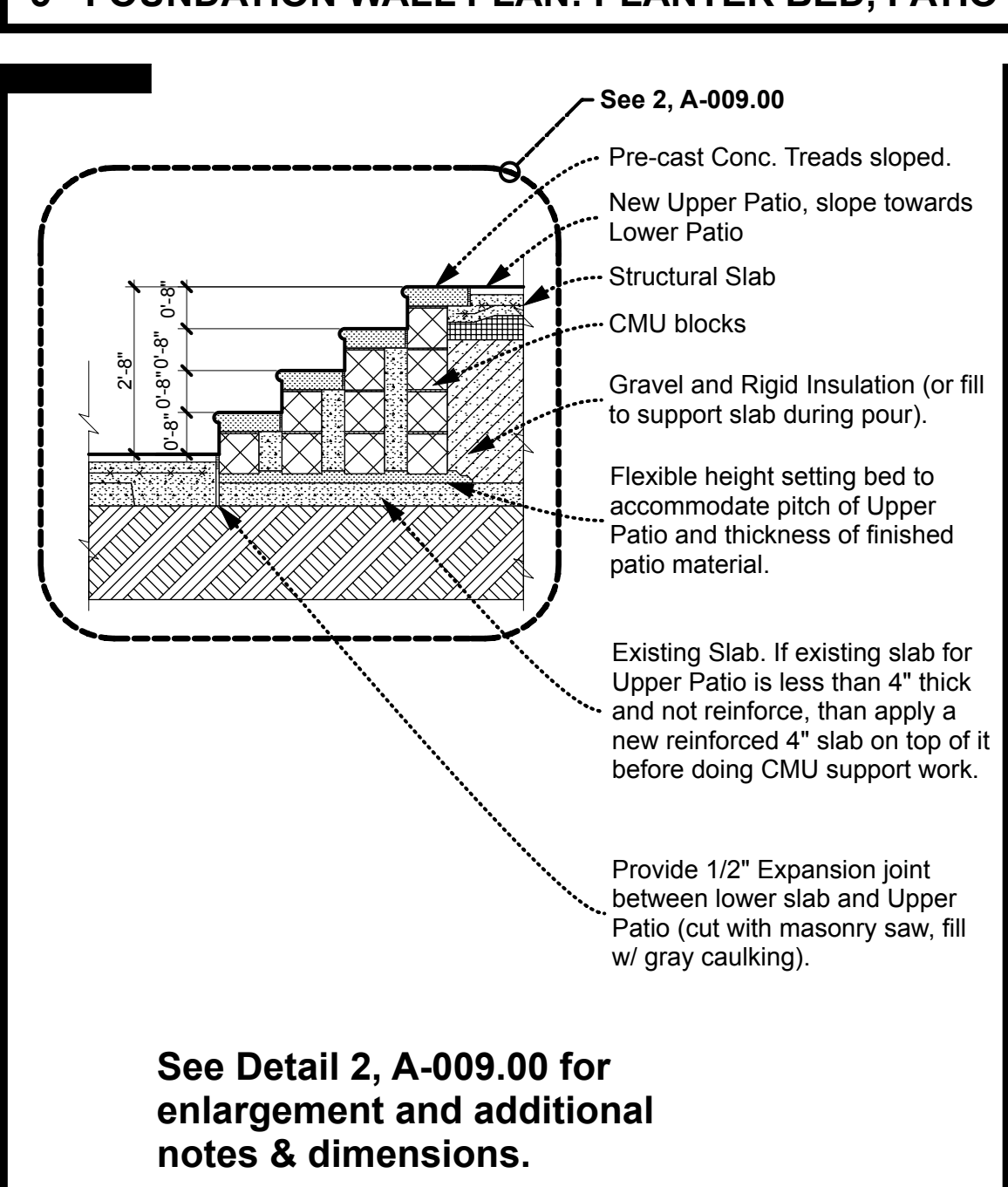
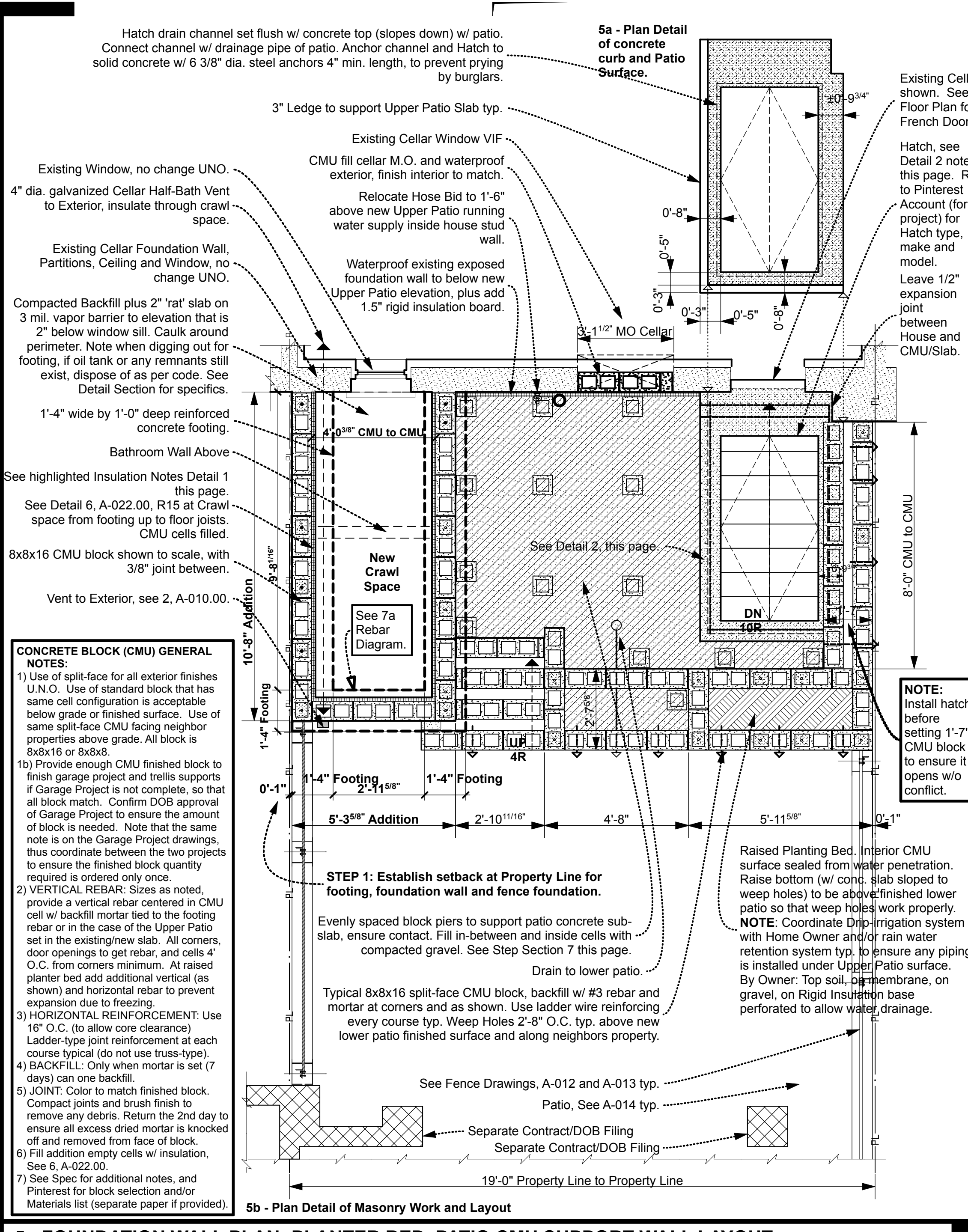
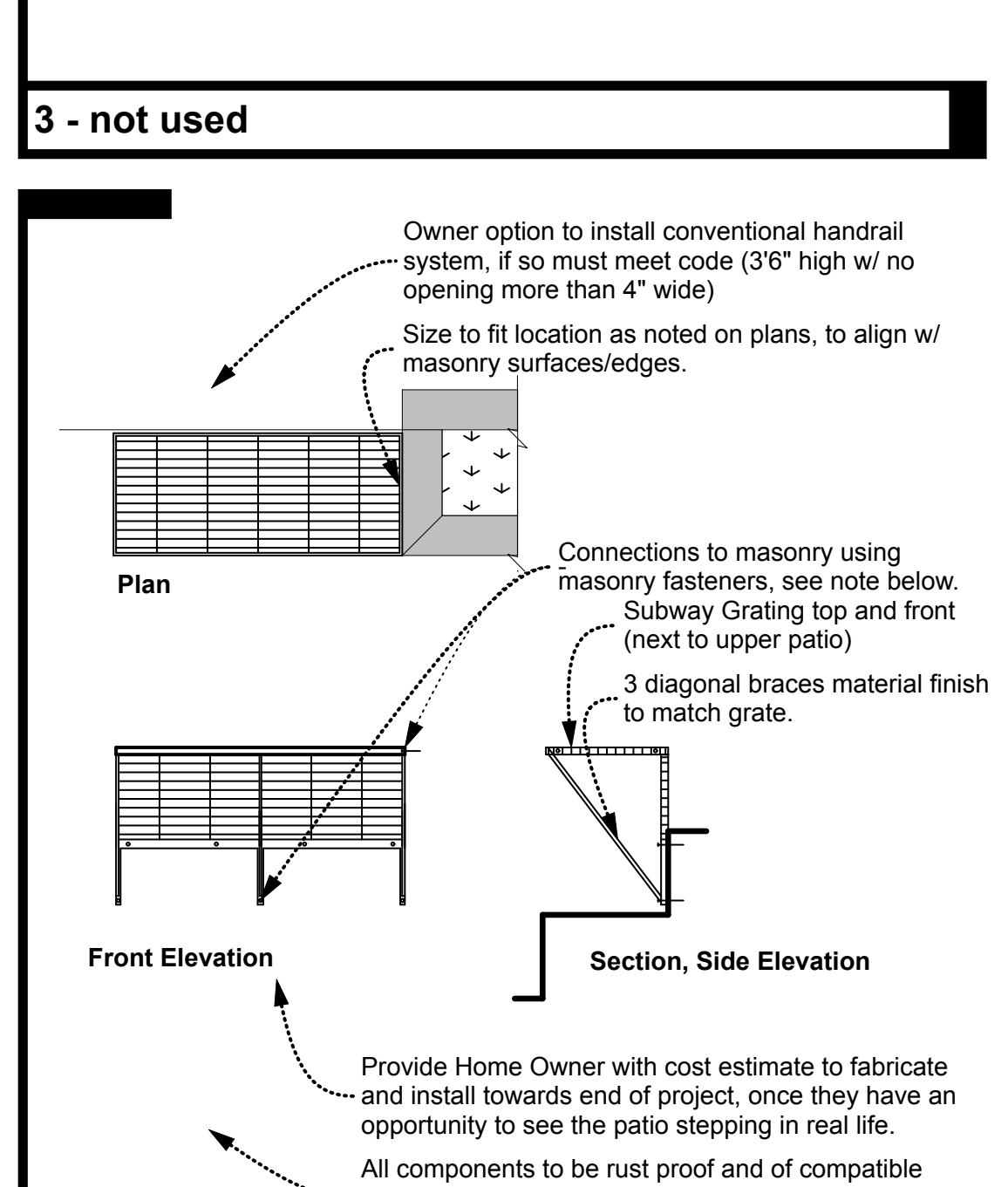
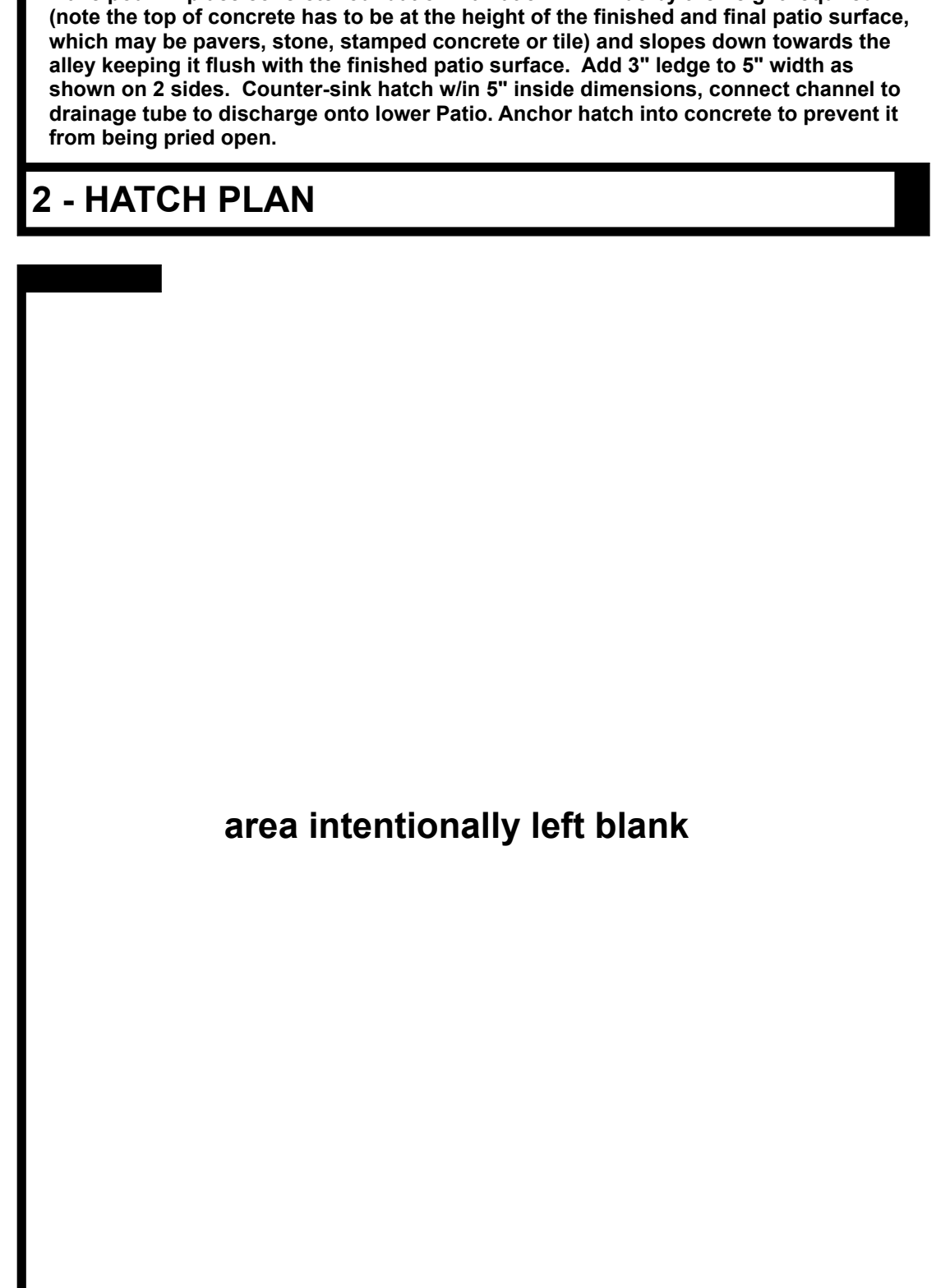
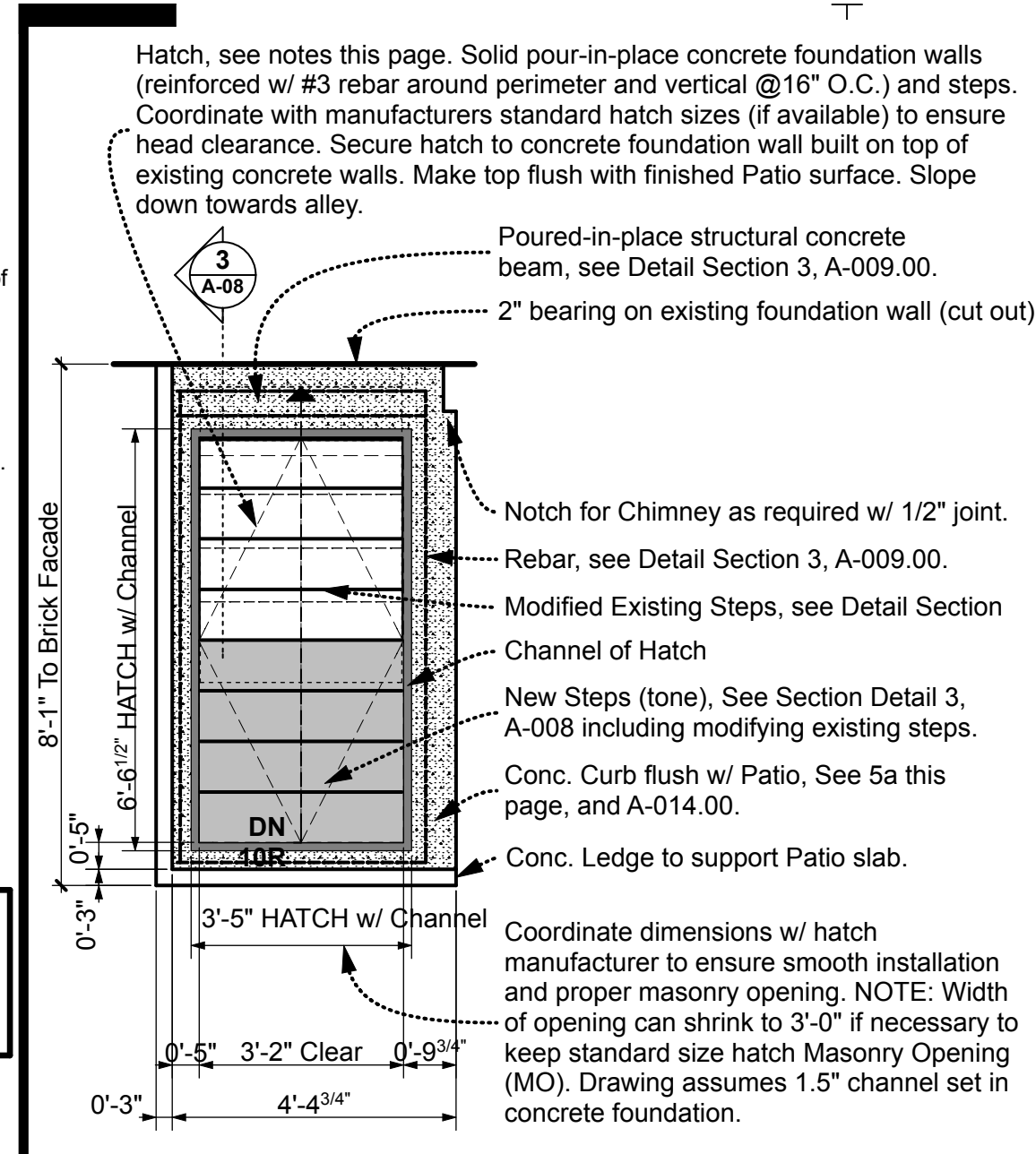
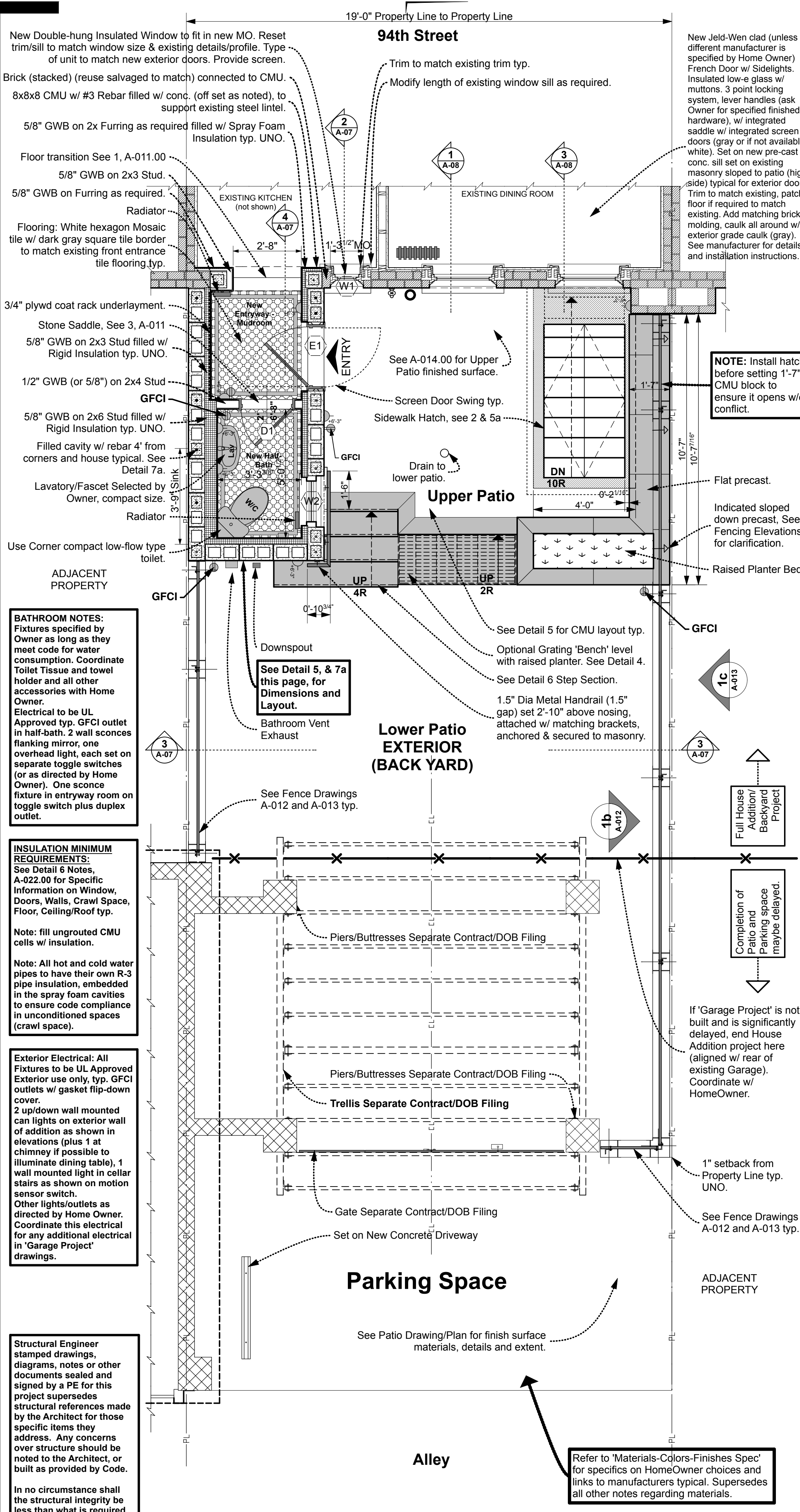
A-005.00

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ARCHITECTURE llc

**PROJECT NAME**

**PROJECT LOCATION**

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**PROJECT TEAM**

ARCHITECT & ARCHITECTURAL FIRM  
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	REVISION 3 (xxx.03)
	REVISION 4 (xxx.04)

**Ground Floor Plan**

New Construction and Misc. Components (Plans, Sections)

PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE  
**3/8" = 1'-0"**

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**NB/NB**

SHEET NUMBER  
**A-006.00**

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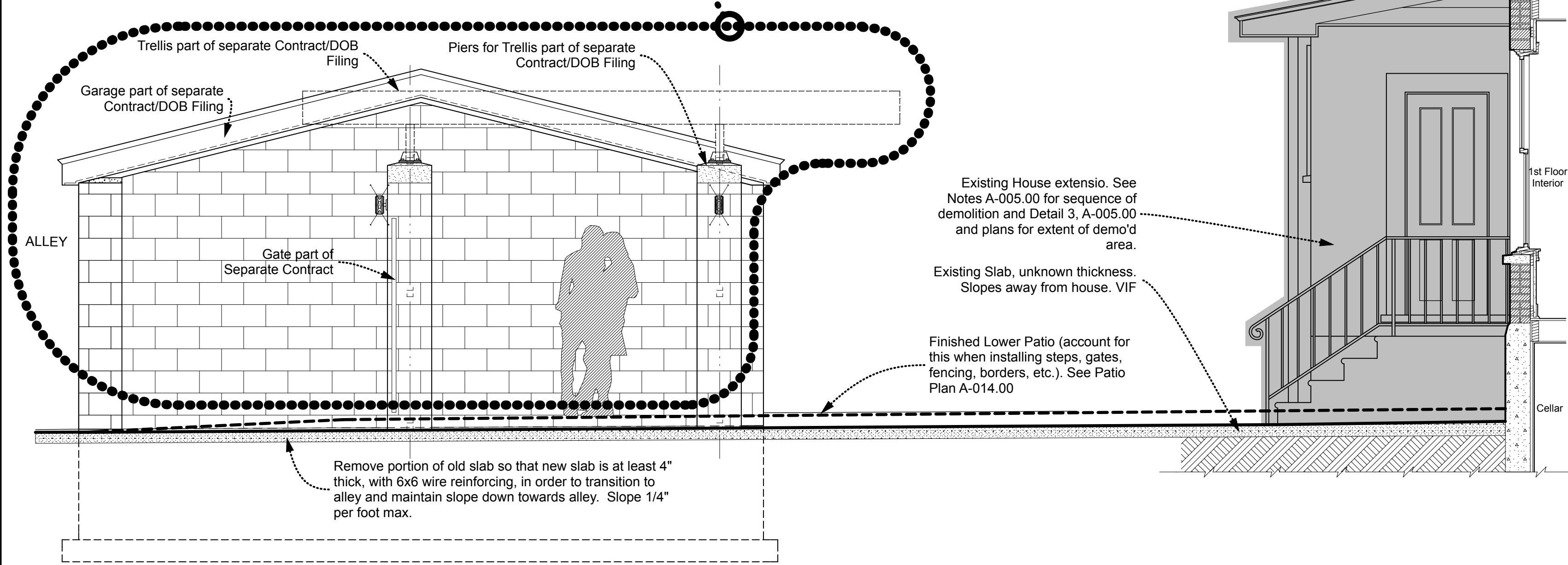
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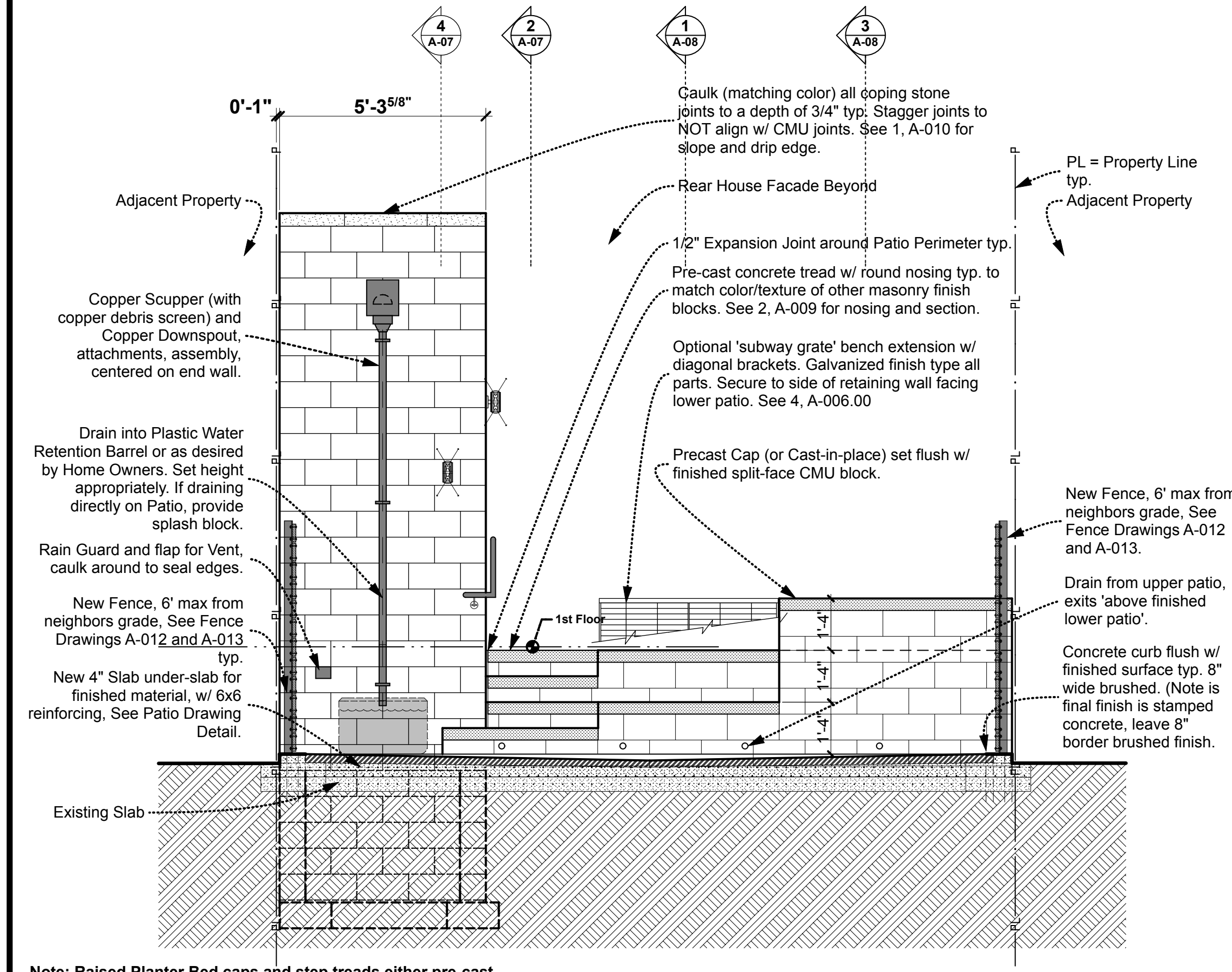
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**Garage/Trellis Project: Separate Contract**



**1 - SECTION EXISTING CONDITIONS (NOTE TRELLIS PART OF SEPARATE CONTRACT)**

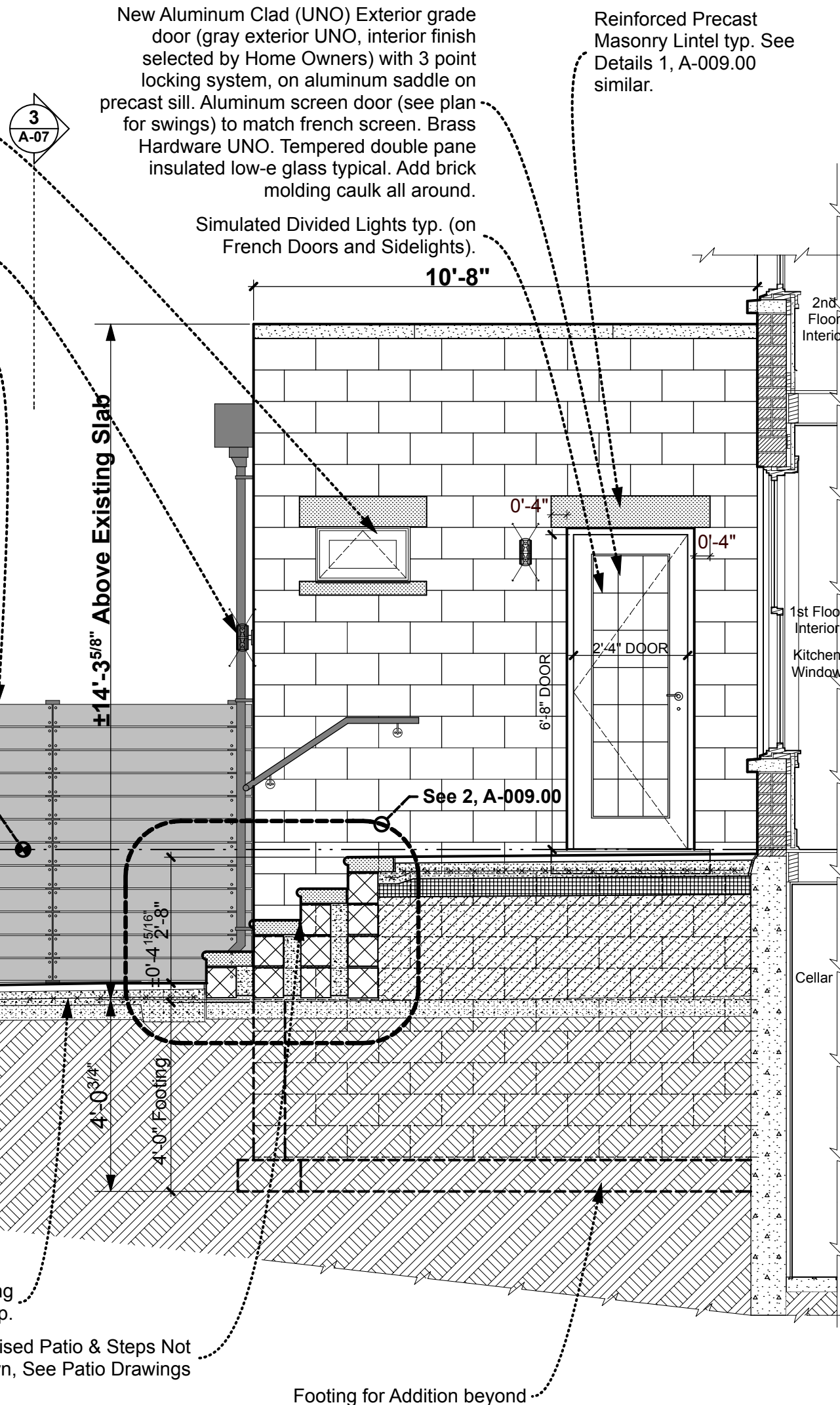


**Note:** Raised Planter Bed caps and step treads either pre-cast concrete or cast-in-place as determined by Home Owner (and budget). In either case, cap should match color of CMU block UNO.

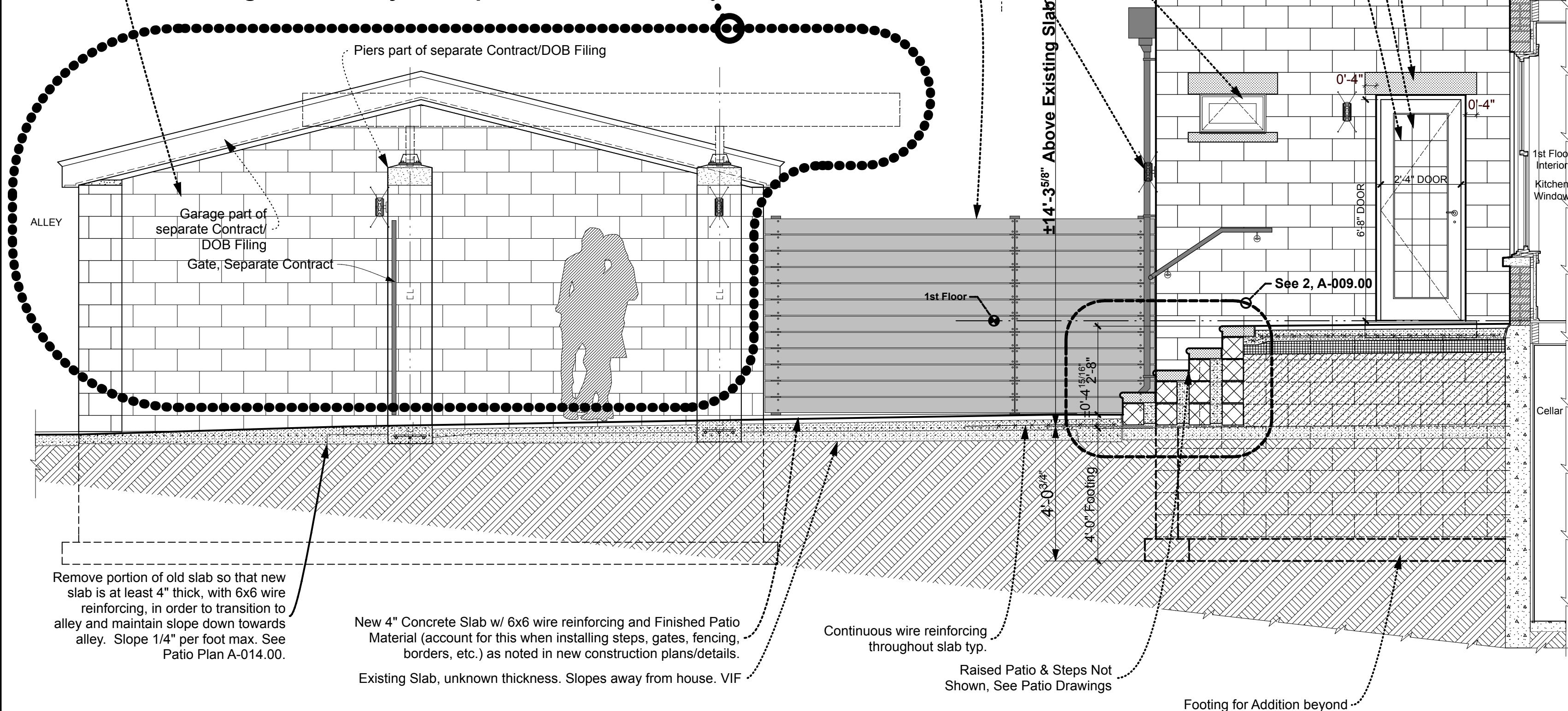
**3 - ELEVATION - END ELEVATION OF ADDITION AND UPPER PATIO**

**NOTE Regarding finishing Party-Wall:**  
Option 1: Leave Party-Wall as is, (NOTE Repointing is part of Garage Party-wall stabilization Project).  
Option 2: to Stucco Existing exposed Party-Wall. If Owner opts for Stucco, use color that matches CMU/Joints and/or Pre-cast. Set scratch coat on wire mesh secured to masonry.  
Option 3: Use Cemeteous coating (gray or matching masonry color) over existing (exposed) Party-Wall after repointing (see Option 1).  
NOTE: The above work should be completed before installation of the finished patio/parking surfaces are installed to prevent damage/staining.

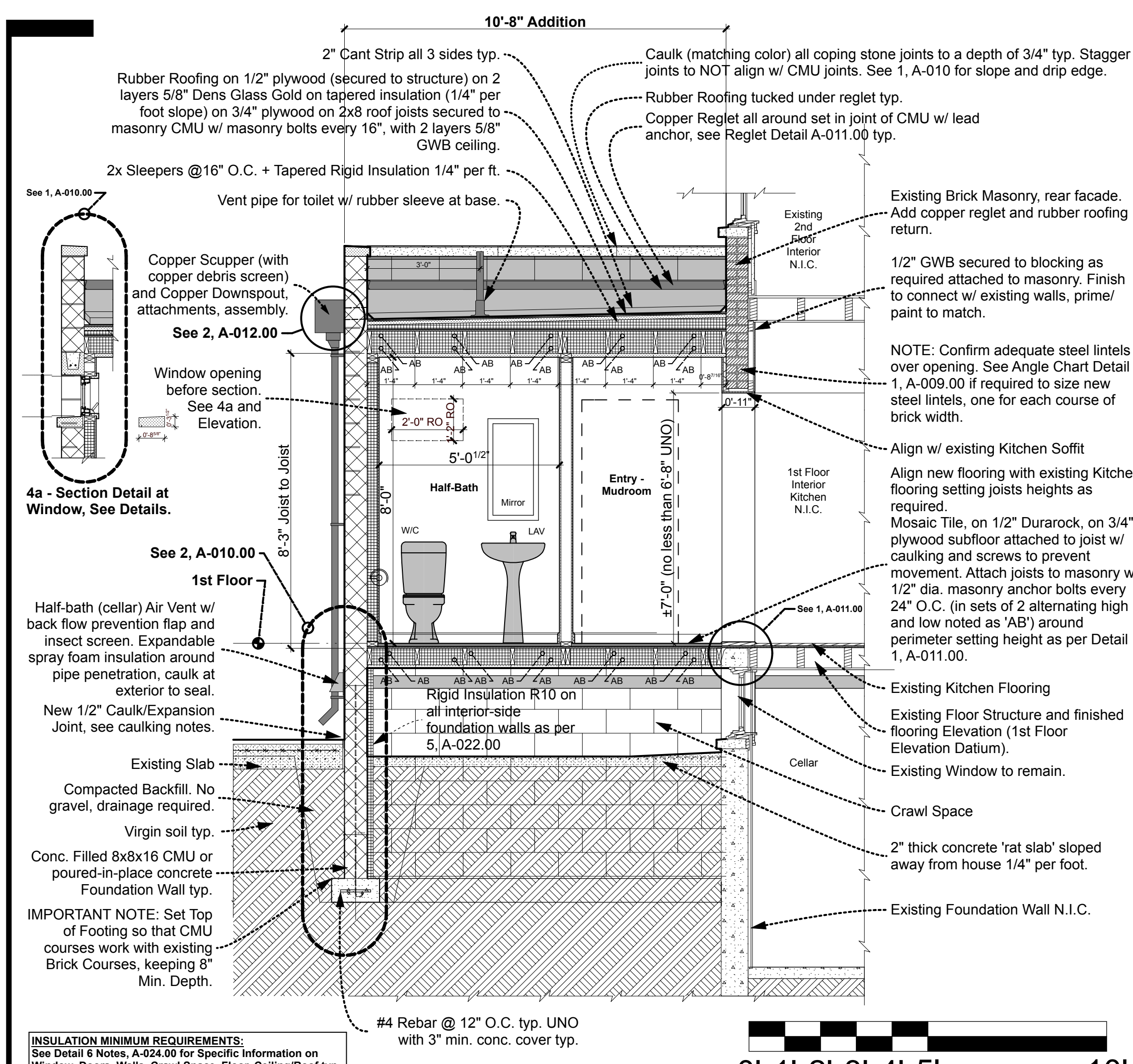
Refer to 'Materials-Colors-Finishes Spec' for specifics on HomeOwner choices and links to manufacturers typical. Supersedes all other notes regarding materials.  
Aluminum Awning Window Unit, color to match new exterior doors/window, insulated, caulk (gray exterior grade) all around.  
Up & Down Can Light, UL Approved Fixture, Exterior grade, flat black finish. LED Bulbs, warm light only. Rewire through Piers typ. Center both horizontal on Pier, and centered at CMU joint as shown typ.  
**NOTE: Ensure Gate can swing freely without interference.** Light bulb source is NOT exposed.



**Garage/Trellis Project: Separate Contract**



**2 - ELEVATION/SECTION SHOWING ADDITION**



**4 - SECTION THROUGH HALF-BATH, ENTRY AND PARTIAL EXISTING KITCHEN**

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ARCHITECTURE llc

---

**PROJECT NAME**  
[Redacted]

**PROJECT LOCATION**  
[Redacted]

**CLIENT CONTACT INFORMATION**  
[Redacted]

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**FILING REPRESENTATIVE**  
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**CONSULTANTS - ENGINEERS**  
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	REVISION 2 (xxx.02)
	REVISION 3 (xxx.03)
	REVISION 4 (xxx.04)

---

**Elevations/Section**  
Existing/Demo & New Construction

PROFESSIONAL SEAL / SIGNATURE [Redacted]

DRAWING SCALE  
**3/8" = 1'-0"**

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**NB/NB**

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**A-007.00**

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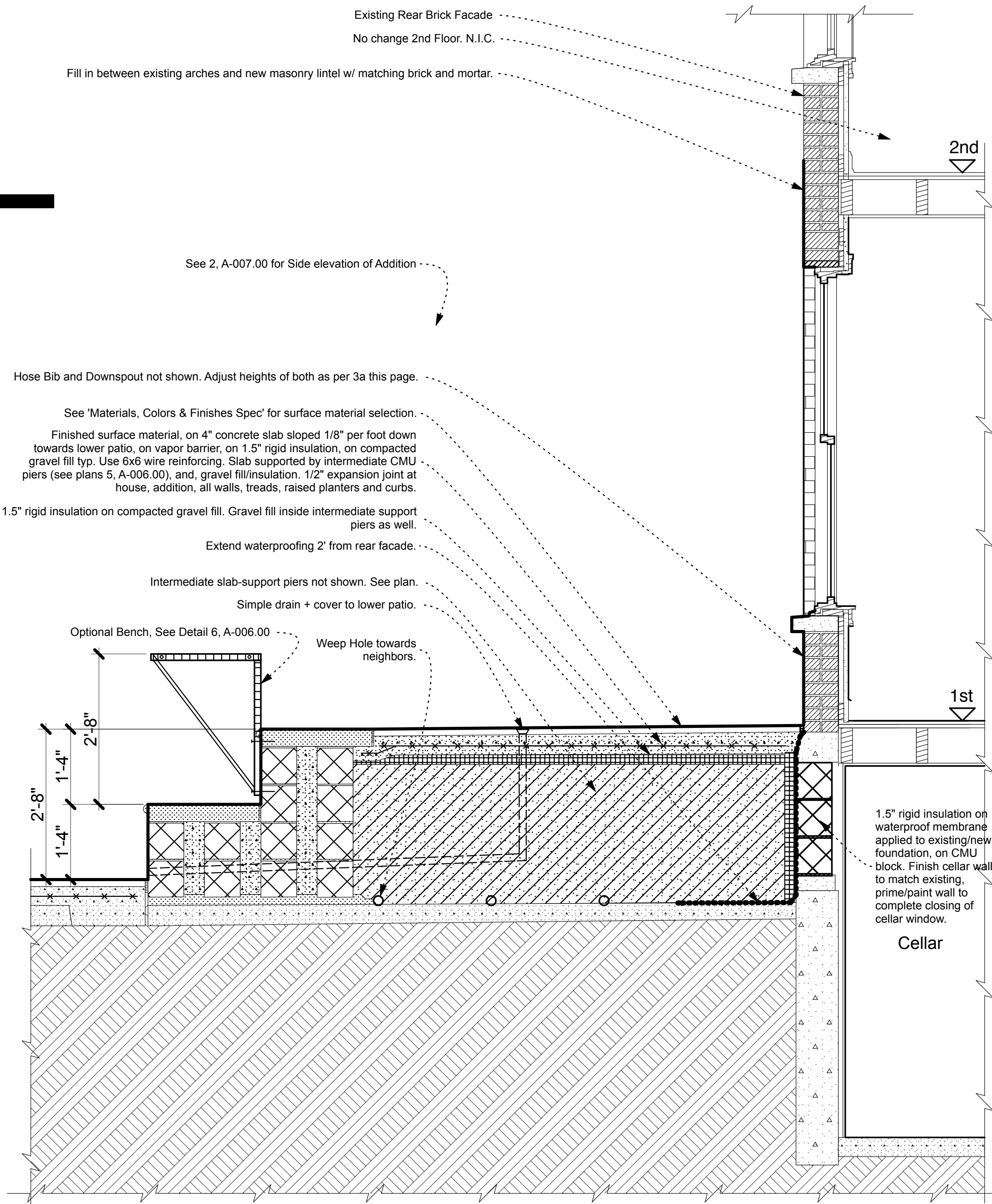
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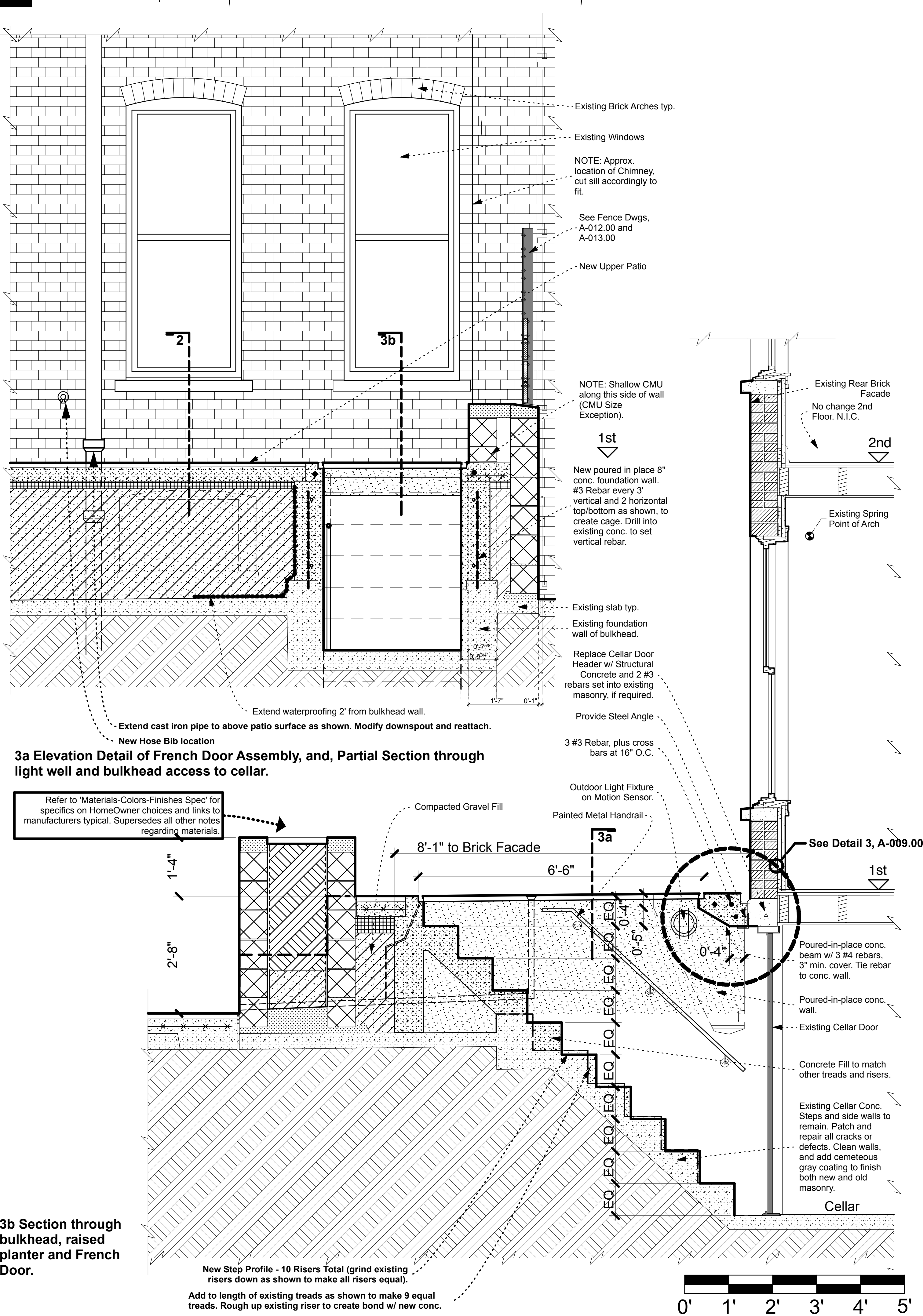


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2 - not used -



2 - SECTION THROUGH CELLAR LIGHT WELL, FRENCH DOOR AND STEPPED PLANTER BED



3 - SECTION THROUGH CELLAR STAIRS, FRENCH DOOR AND RAISED PLANTER BED



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SHEET DESCRIPTION / DRAWING TITLE

**Upper Patio Dtls**  
 Light well, Hatch & Concrete  
 Components, Sections

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DRAWING SCALE

3/4" = 1'-0"

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NB/NB

SHEET NUMBER

A-008.00

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NOTE: FOR OPENINGS IN WALLS (\*) OTHER THAN OPENINGS FOR FIRE DOORS

- 1) All Double Angles shall be bolted together.
- 2) Long Leg of Angle to be vertical (\*).
- 3) See other contract drawings for exact location of lintel angles.
- 4) Lintels as shown are for non-loadbearing walls only, unplastered and unfinished (except painting)
- 5) Fill voids of blocks with cement mortar for two courses below lintel bearing.
- 6) For all openings in excess of 1'-0", but less than 3'-0", use 3" x 3" x 5/16" angles (number of angles as scheduled above). Use 5/16" steel plate for openings 1'-0" or less.
- 7) \* = Unless otherwise noted on other contract drawings.
- 8) At Door Frames of framed (trimmed) openings where heads are reinforced, loose steel lintels may not be required. See Door & Frame Schedule (and Details) on other contract drawings for information regarding reinforced frame heads.
- 9) These Lintels allow for Arch Action. The Masonry Bond over an opening shall have enough strength to create a self-supporting corbeled arch. Only a small triangular area of the wall over an opening shall be actually dependent upon these lintels for support. The height of the triangle shall equal the width of the span. If Headers or Soldier Courses are used above Lintel, the triangle should be taken from the top of such courses, and not from the top of the opening.

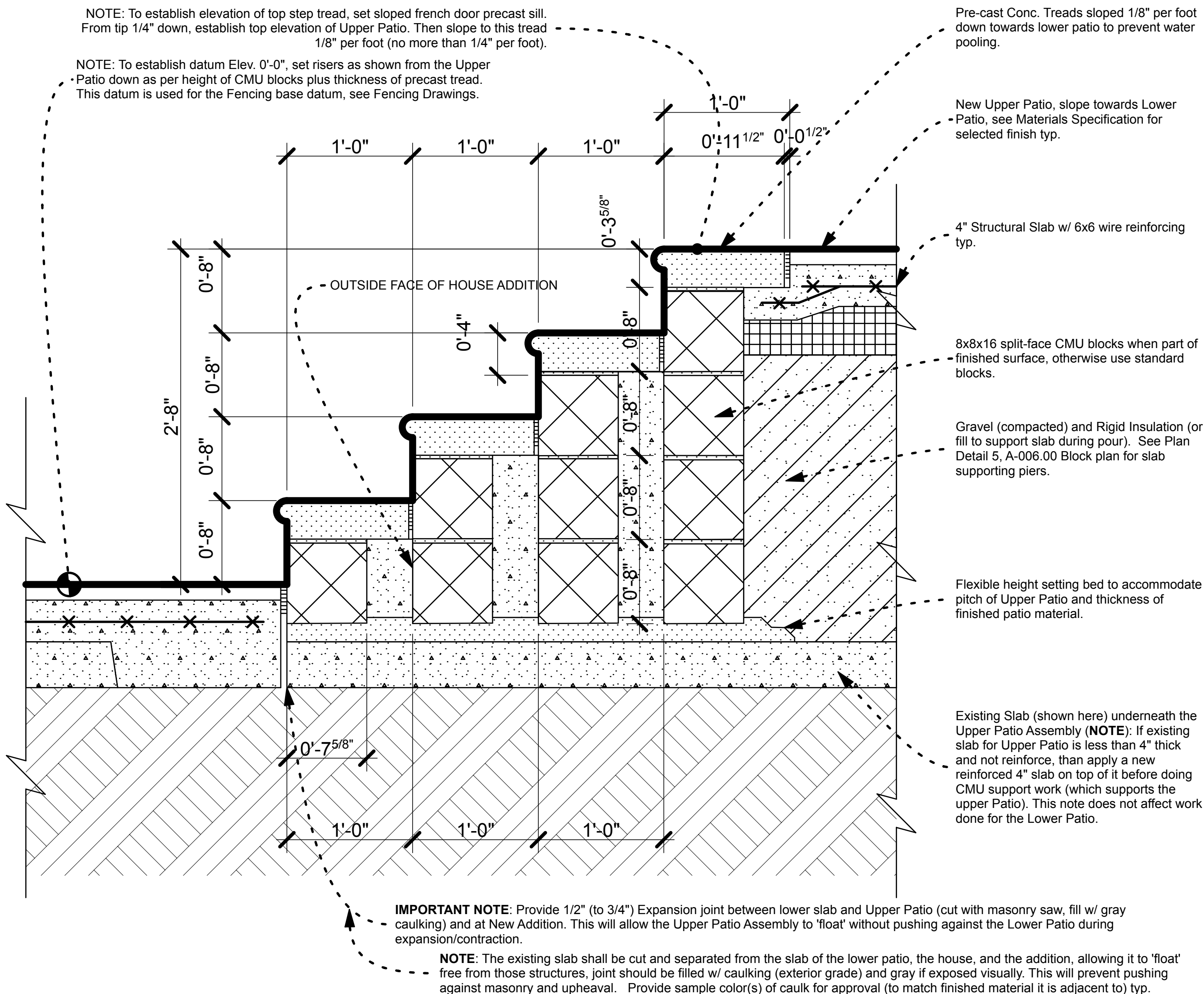
Masonry Opening (M.O.)	Masonry Opening (M.O.) Length of Lintel: add additional 6" bearing surface beyond MO, both ends.	4" Block	6" Block	8" Brick or Block	12" Brick or Block
		One Angle	Two Angles	Two Angles	Three Angles
3'-0"	4'-0"	3.5" x 3.5" x 5/16"	3.5" x 2.5" x 3/8"	3.5" x 3.5" x 5/16"	3.5" x 3.5" x 5/16"
3'-4"	4'-4"	"	"	"	"
3'-8"	4'-8"	"	"	"	"
4'-0"	5'-0"	"	"	"	"
4'-4"	5'-4"	"	"	"	"
4'-8"	5'-8"	"	"	"	"
5'-0"	6'-0"	"	"	"	"
5'-4"	6'-4"	4" x 3.5" x 5/16"	3.5" x 2.5" x 1/2"	4" x 3.5" x 5/16"	4" x 3.5" x 5/16"
5'-8"	6'-8"	"	"	"	"
6'-0"	7'-0"	"	"	"	"
6'-4"	7'-4"	"	"	"	"
6'-8"	7'-8"	"	"	"	"

Above Basement door supporting Hatch Beam typ.

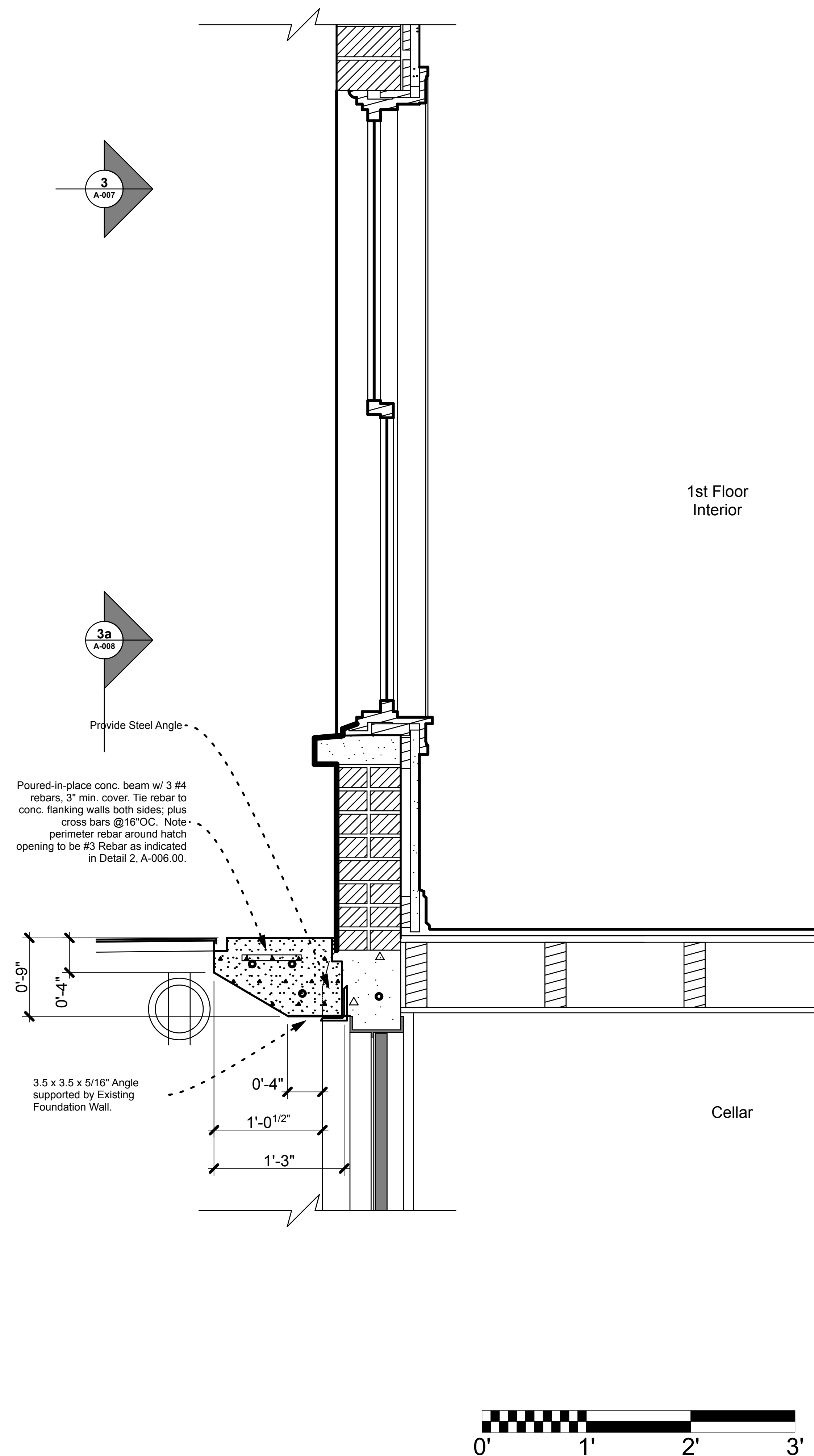
NOTE: Lintels supporting masonry walls over a 4 feet in width shall be Fire Protected with Materials having the required Fire Resistance Rating of the wall supported. 27-326.

Architects Note: Provide metal drip edge on outside edge of mtl angle to protect face and underside of steel from water dripping.

### 1 - STEEL ANGLE CHART AND NOTES



### 2 - SECTION DETAIL OF PATIO STEPS



### 3 - SECTION DETAIL THROUGH BULKHEAD BEAM AT REAR FACADE



PROJECT NAME

PROJECT LOCATION

CLIENT CONTACT INFORMATION

PROJECT TEAM

ARCHITECT & ARCHITECTURAL FIRM  
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	REVISION 3 (xxx.03)
	REVISION 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE  
**Wall Opening Dtls (Door) Sections/Elevation Details, Steel Angle Chart**

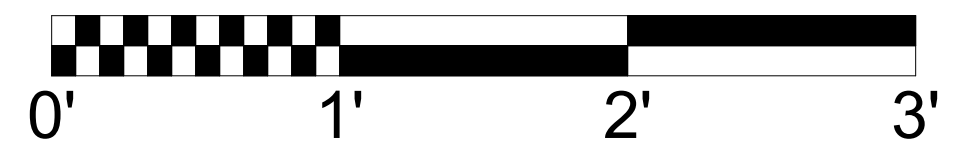
PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE  
**1 1/2" = 1'-0"**

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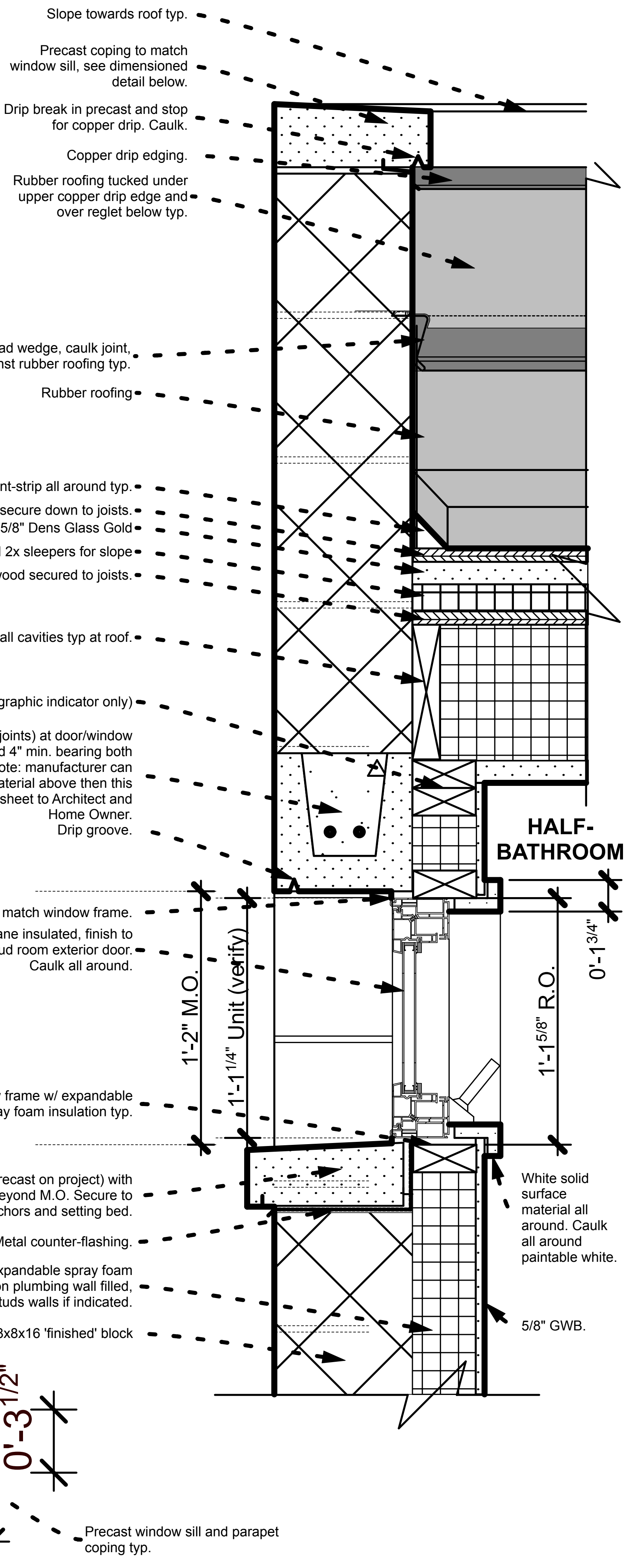


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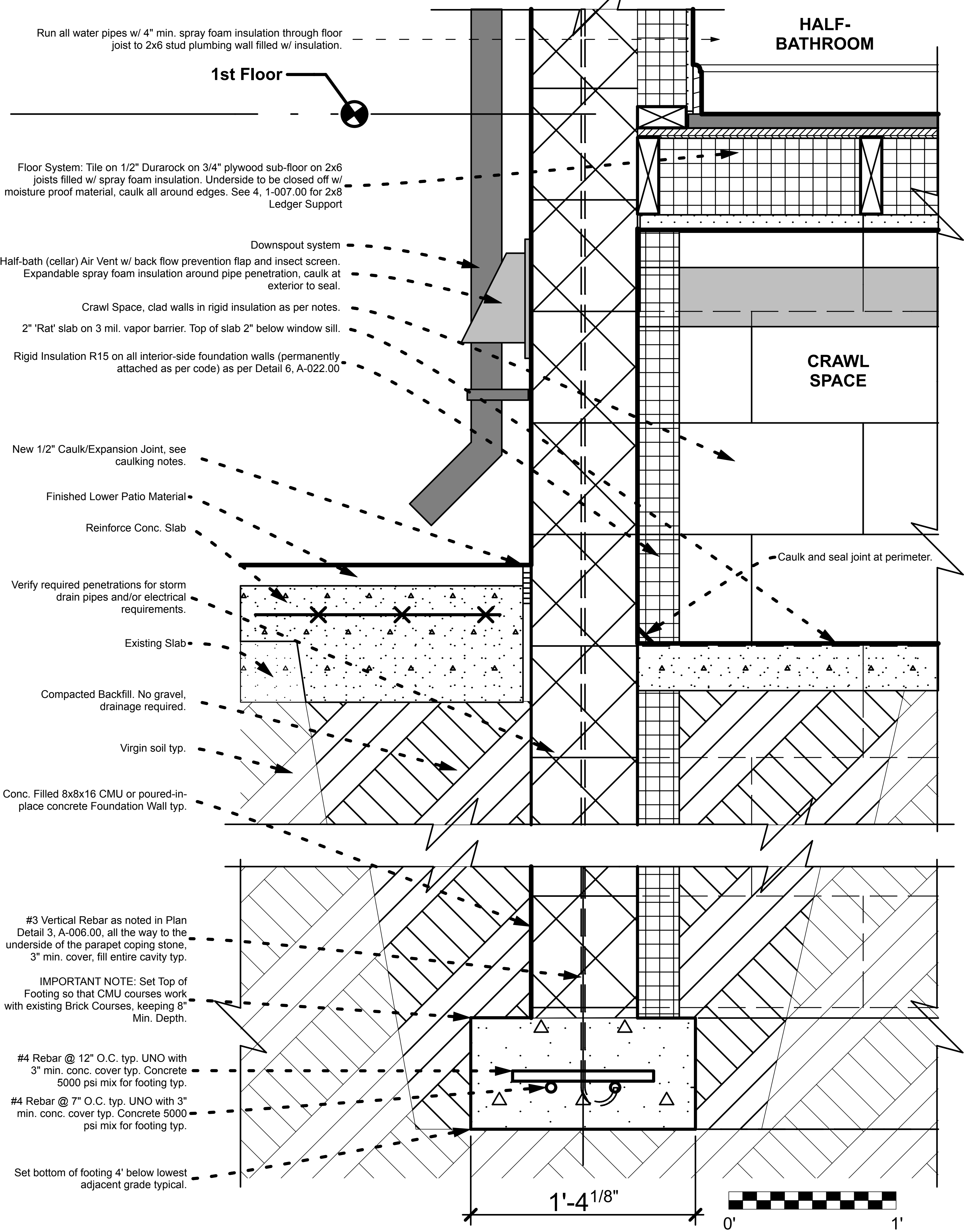
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**INSULATION MINIMUM REQUIREMENTS:**  
See Detail 6 Notes, A-024.00 for Specific Information on Window, Doors, Walls, Crawl Space, Floor, Ceiling/Roof typ.



1 - WALL SECTION DETAIL AT HALF-BATH WINDOW AND ROOF CONSTRUCTION



2 - SECTION, TYPICAL FOOTING AND FLOOR CONSTRUCTION AT ADDITION



PROJECT NAME \_\_\_\_\_  
PROJECT LOCATION \_\_\_\_\_  
CLIENT CONTACT INFORMATION \_\_\_\_\_

PROJECT TEAM  
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	REVISION 4 (xxx.04)

**Addition Sections**  
Footing, Foundation, Floor and Roof Details

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DRAWN BY / CHECKED BY: NB/NB  
SHEET NUMBER: A-010.00  
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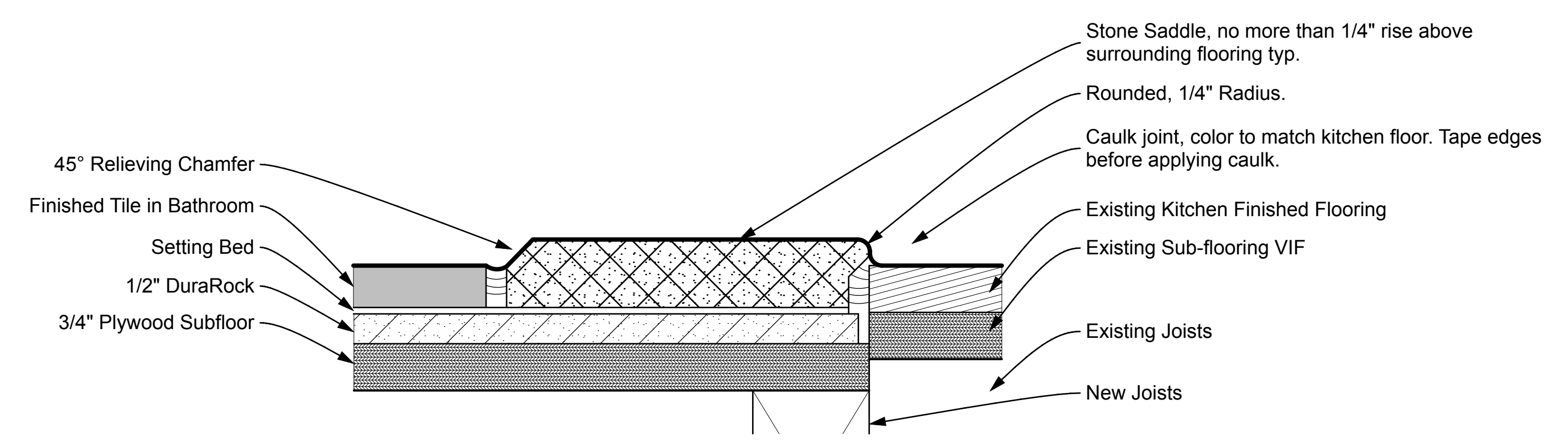
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**NOTE: This detail determines the height of the new addition floor joists in order to align the new and existing floors. Attach the floor joists to the CMU at the correct height. Account for the final floor tile chosen and the method/thickness of it's setting mastic/bed.**

< New Entry/Mud Room >

Existing Kitchen >

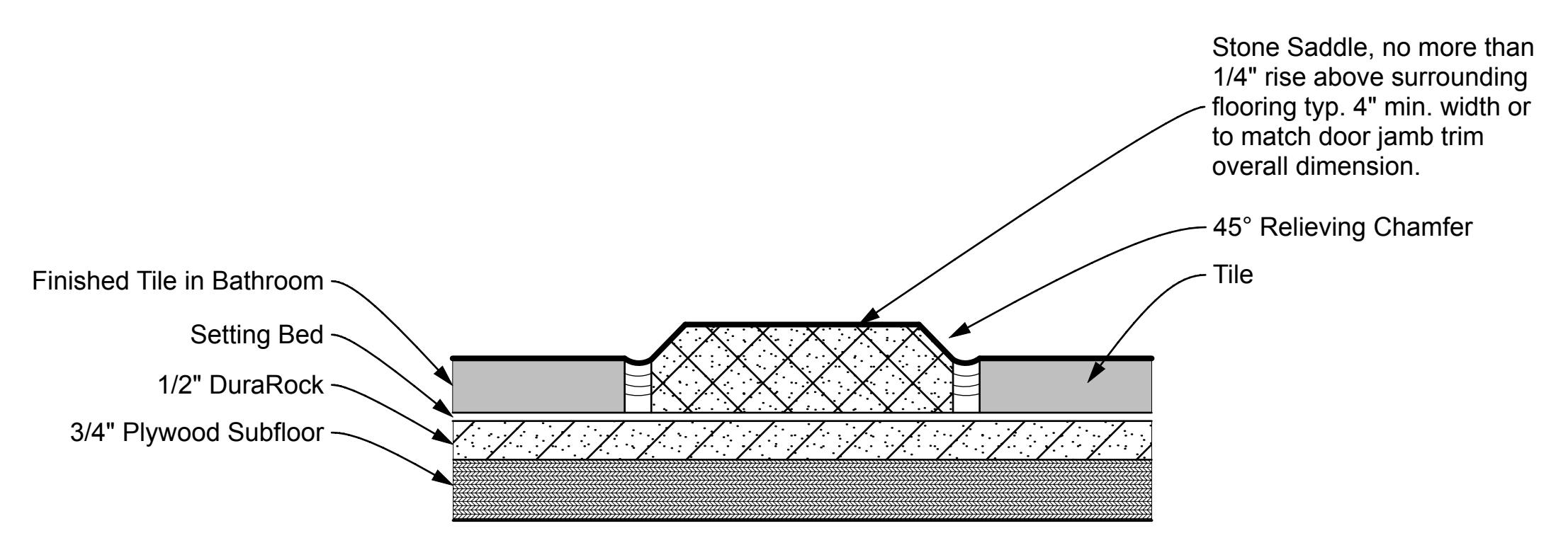


1 - SECTION THROUGH TRANSITION AT KITCHEN AND ENTRY/MUDROOM - NTS

Refer to 'Materials-Colors-Finishes Spec' for specifics on HomeOwner choices and links to manufacturers typical. Supersedes all other notes regarding materials.

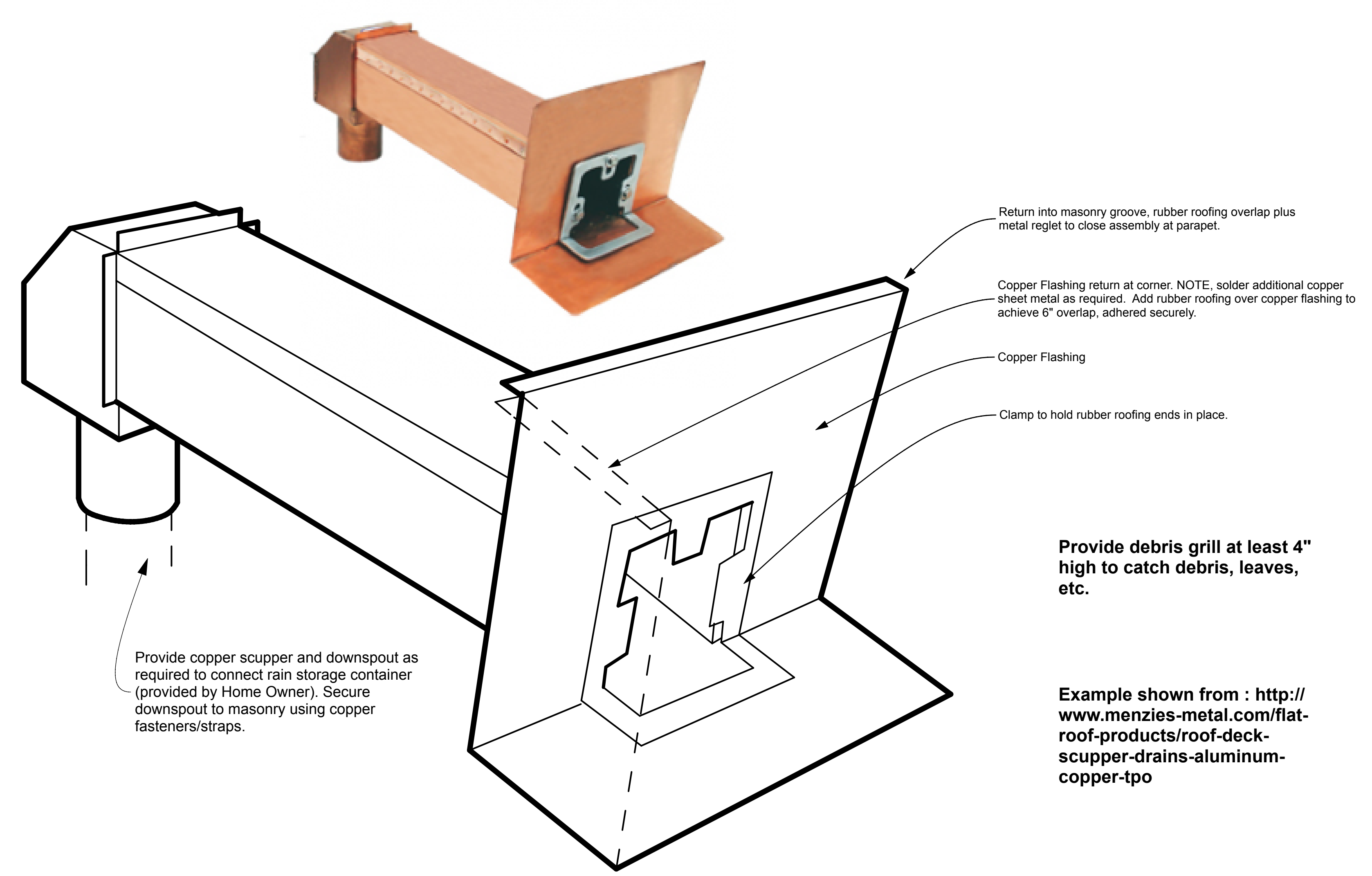
< New Half-Bathroom >

New Entry/Mud Room >

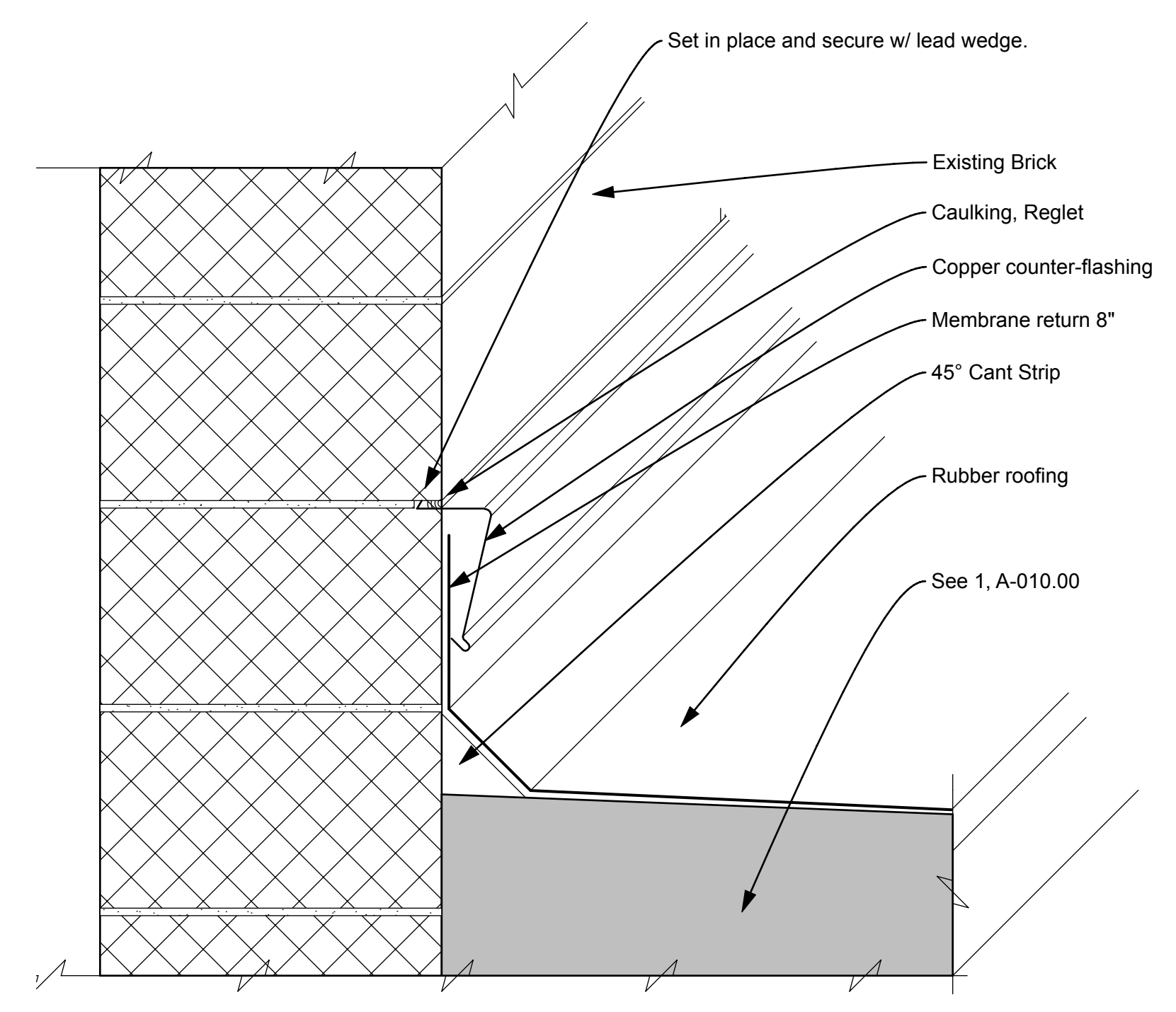


Section Through Threshold-NTS

3 - SECTION DETAIL AT SADDLE/DOOR OF HALF-BATH - NTS



2 - SCUPPER ASSEMBLY FOR 2ND FLOOR ROOF AREA - NTS



**NOTE: Cut groove into joint of brick to accept copper counter-flashing. Counter flashing 'grabs' joint when pressed in, and due to its shape presses against rubber roofing, to allow for future new membrane. Rubber roofing to be 8" above finished surface, set reglet accordingly, based on counter flashing height. Use 4" height min.**

4 - REGLET DETAIL AT PARAPET - NTS



PROJECT NAME \_\_\_\_\_  
 PROJECT LOCATION \_\_\_\_\_  
 CLIENT CONTACT INFORMATION \_\_\_\_\_

PROJECT TEAM  
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SHEET DESCRIPTION / DRAWING TITLE  
**Misc. Details**  
 Reglet, Scupper, Downspout and Floor Transition Details

PROFESSIONAL SEAL / SIGNATURE \_\_\_\_\_ DRAWING SCALE  
 3/4" = 1'-0"

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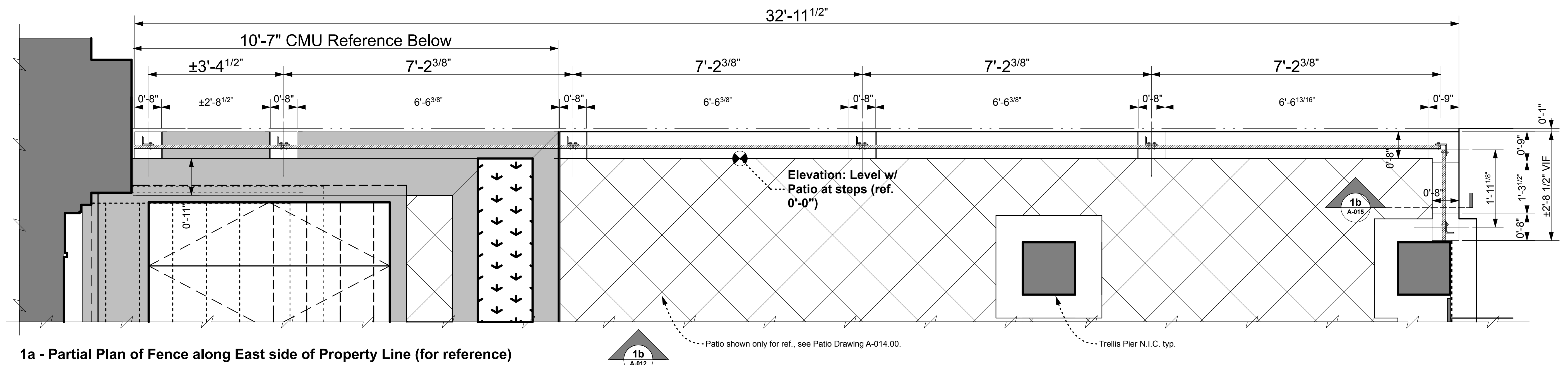
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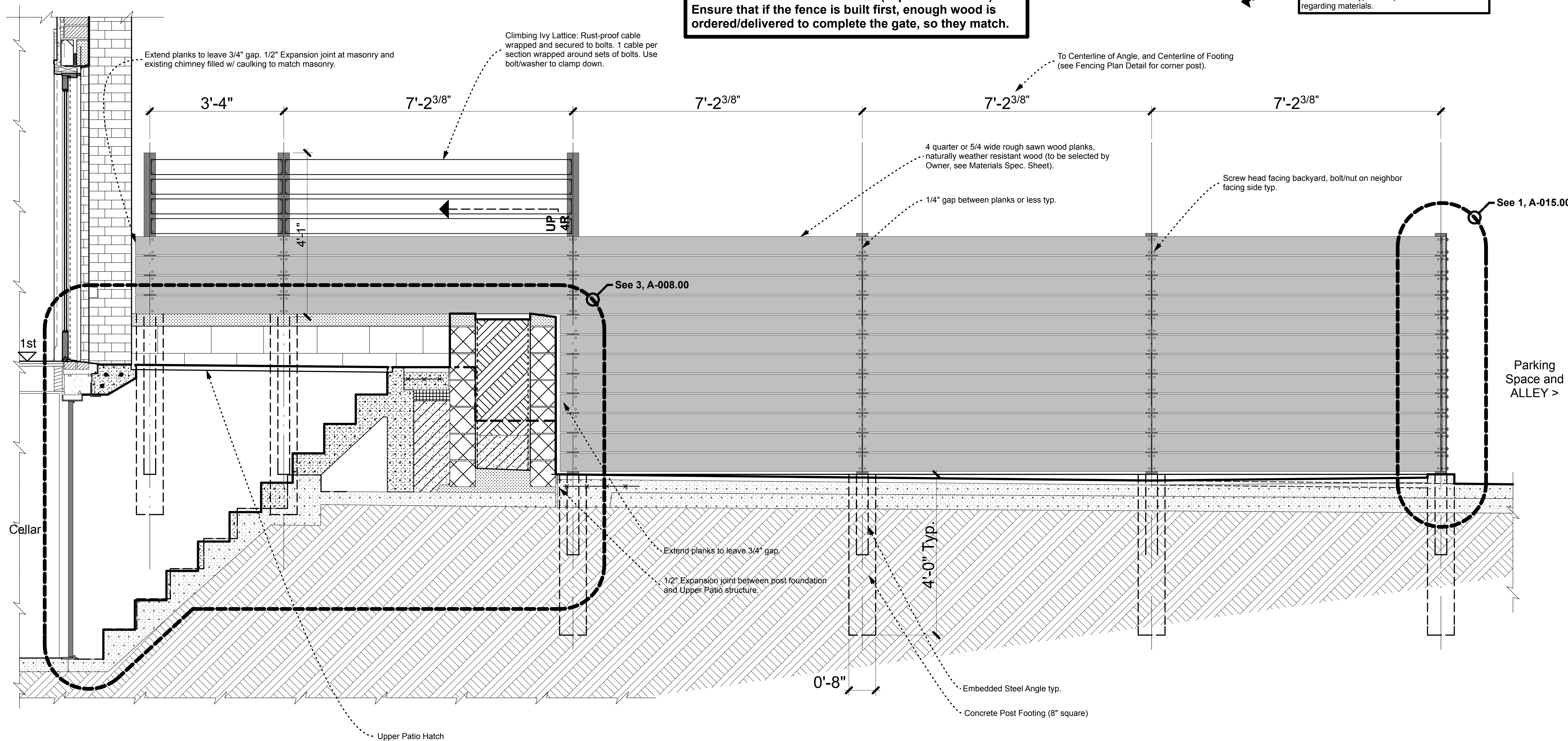




1a - Partial Plan of Fence along East side of Property Line (for reference)

**Intent of Fence is to match Gate (separate Contract).  
Ensure that if the fence is built first, enough wood is  
ordered/delivered to complete the gate, so they match.**

Refer to 'Materials-Colors-Finishes Spec' for specifics on HomeOwner choices and links to manufacturers typical. Supersedes all other notes regarding materials.



1b - Backyard Elevation of Fence

PROJECT NAME

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**Fence Elevation**  
Fence Section/Elevation and Plan, from Backyard Side

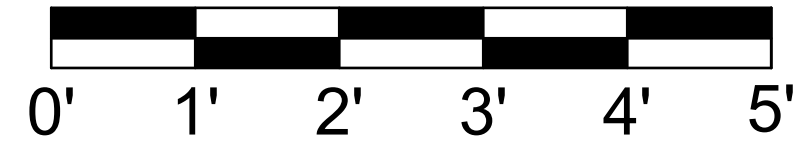
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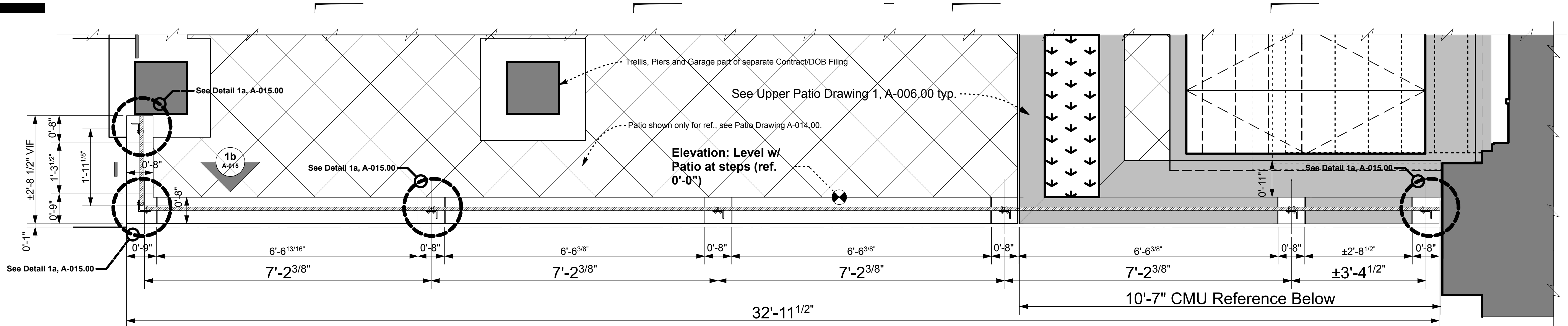
PROJECT NAME: \_\_\_\_\_  
 PROJECT LOCATION: \_\_\_\_\_  
 CLIENT CONTACT INFORMATION: \_\_\_\_\_

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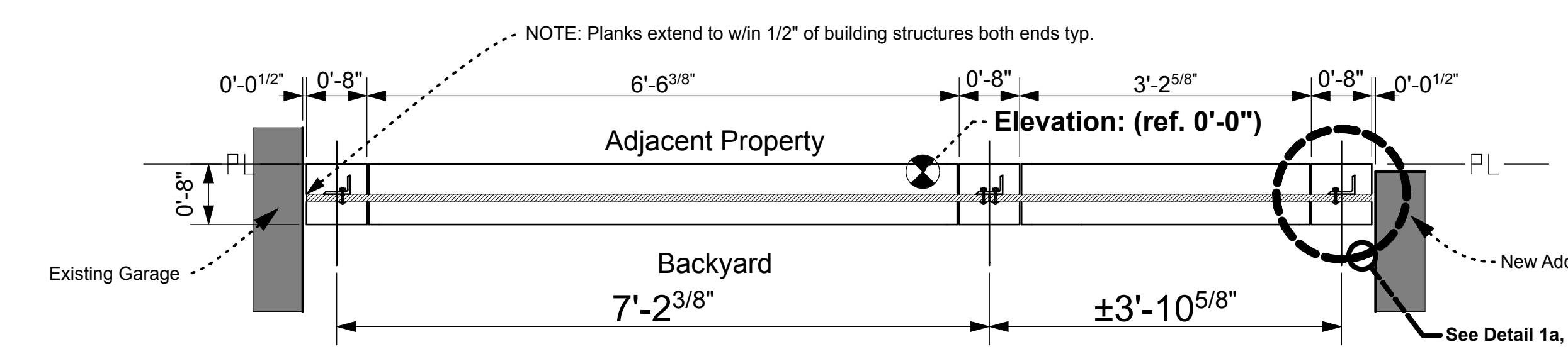
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	REVISION 1 (xxx.01)
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	REVISION 3 (xxx.03)
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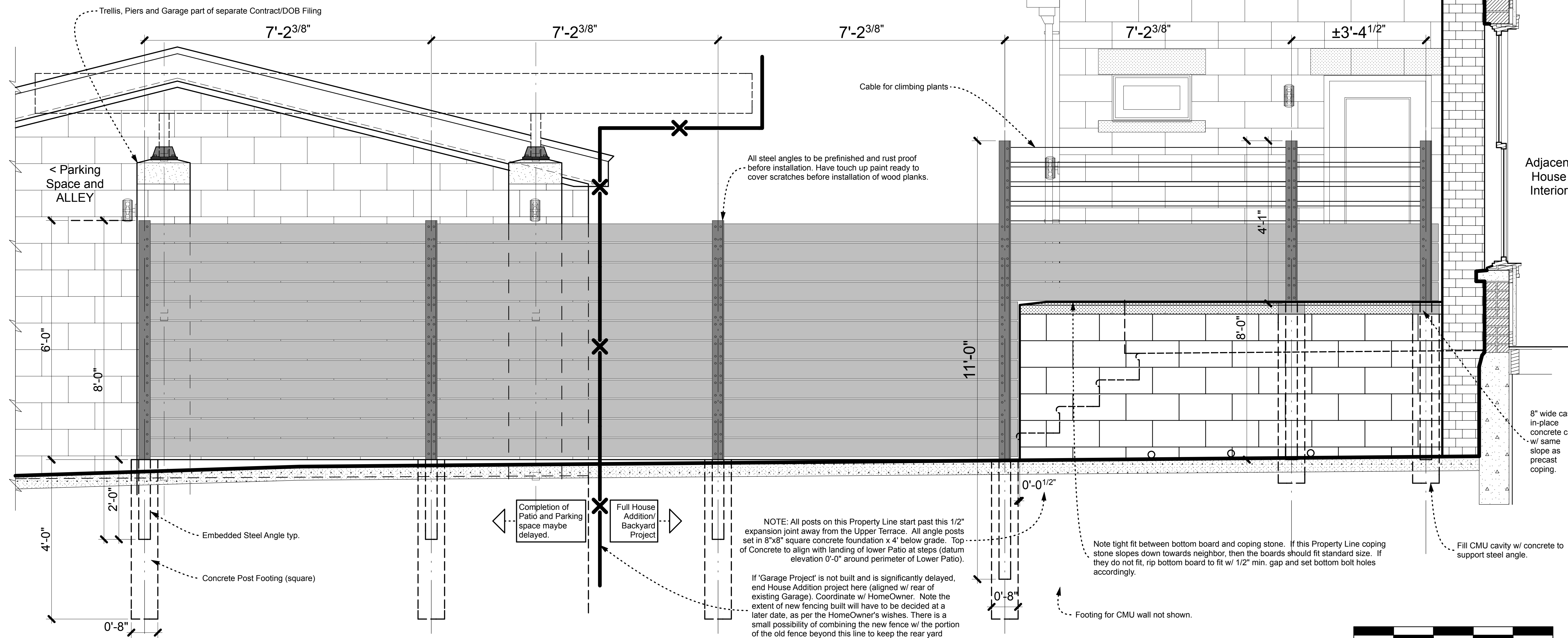
1a - Partial Plan of Fence along East side of Property Line (for reference)



1b - Partial Plan of Fence along West side of Property Line (same as East side).

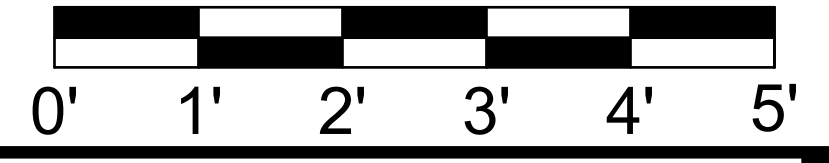
**Intent of Fence is to match Gate (separate Contract). Ensure that if the fence is built first, enough wood is ordered/delivered to complete the gate, so they match.**

Refer to 'Materials-Colors-Finishes Spec' for specifics on HomeOwner choices and links to manufacturers typical. Supersedes all other notes regarding materials.



1c - Elevation of Fence along East side of Property Line (West side similar)

**1 - ELEVATION of EAST FENCE (and Partial Plans of East/West Fence)**



**Fence Elevation**  
 East Fence Section/Elevation and Plan from Neighbor's Side

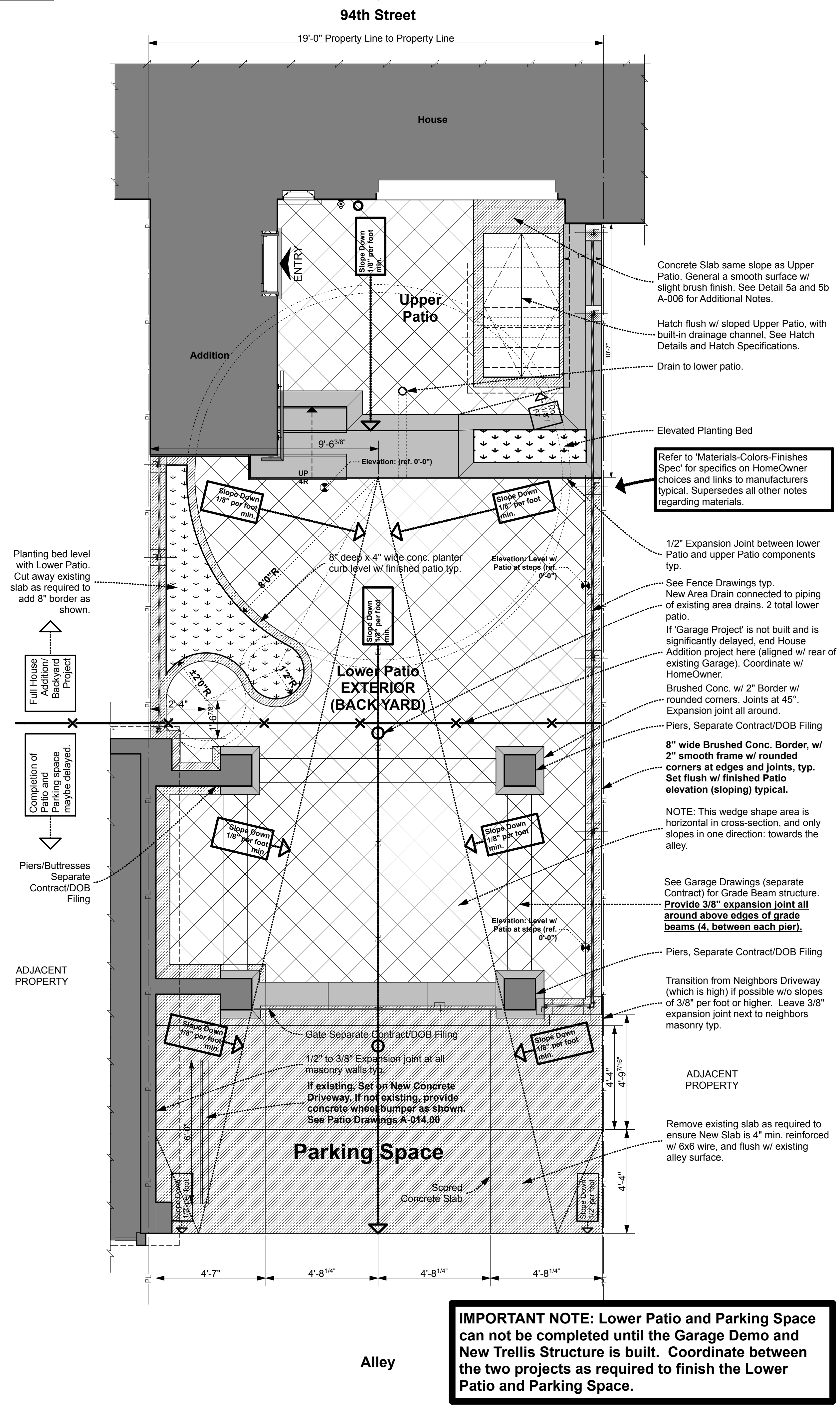
PROFESSIONAL SEAL / SIGNATURE: \_\_\_\_\_  
 DRAWING SCALE: 3/4" = 1'-0"  
 DRAWN BY / CHECKED BY: NB/NB  
 SHEET NUMBER: A-013.00  
 PAGE 13 OF 22 PAGES

BIND THIS SIDE

DEPARTMENT OF BUILDINGS

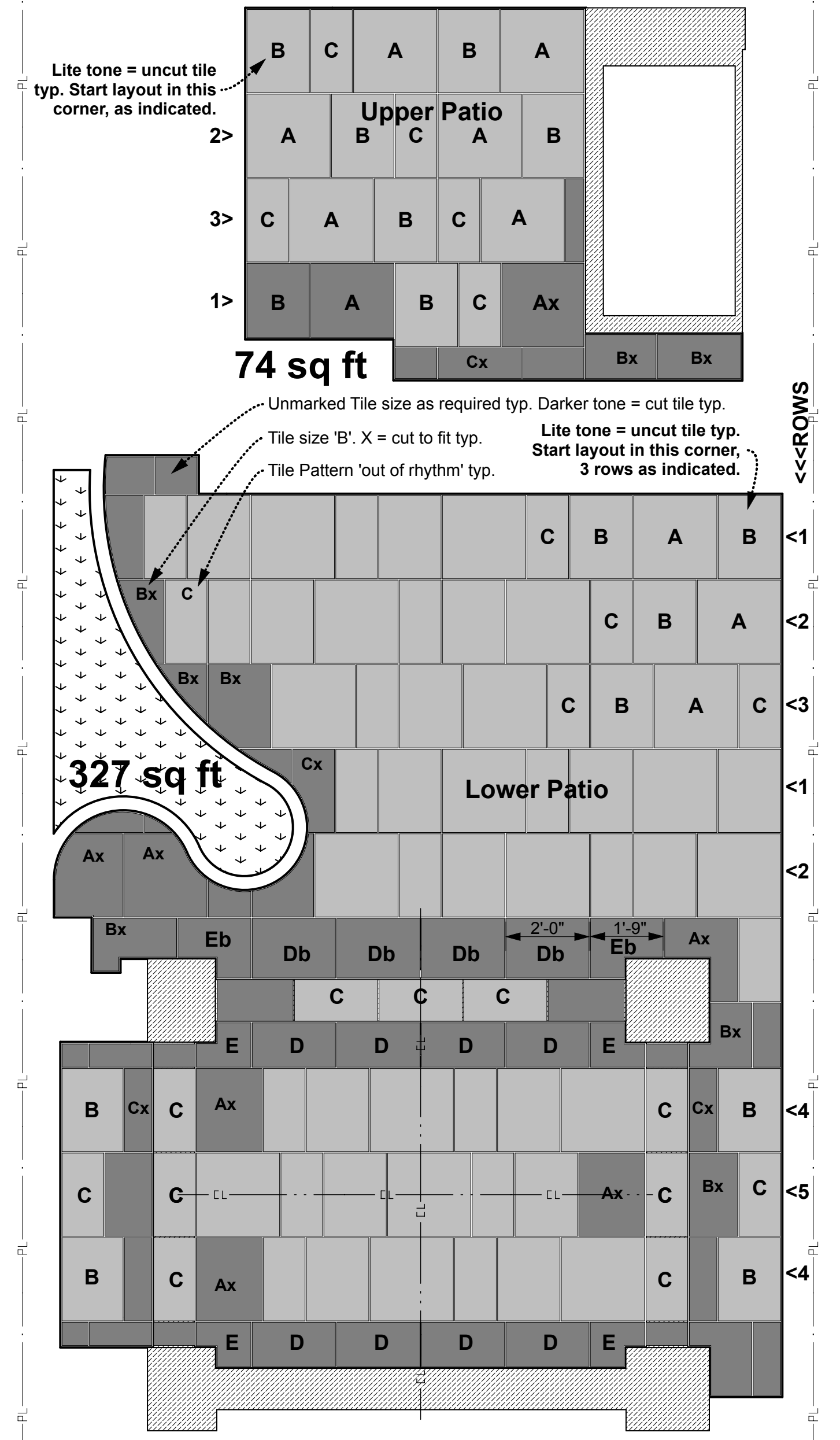


BIND THIS SIDE



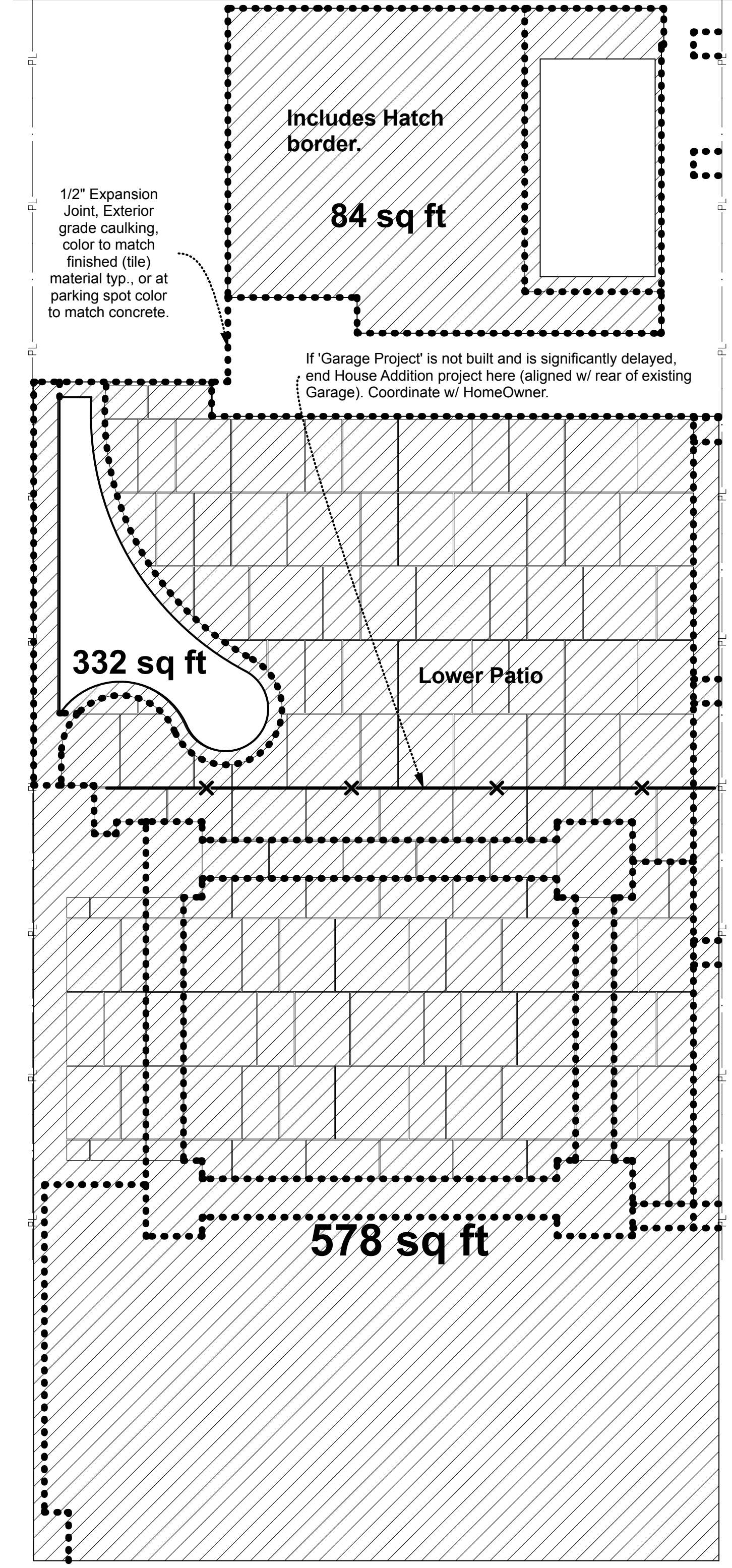
**IMPORTANT NOTE: Lower Patio and Parking Space can not be completed until the Garage Demo and New Trellis Structure is built. Coordinate between the two projects as required to finish the Lower Patio and Parking Space.**

**Porcelain Tile Installation Notes:**  
 1-Grind the lower patio smooth. There can be no protrusions or waves in the concrete surface as it will be possible to park a vehicle on the tile. The concrete must be flat.  
 2-Clean the concrete slab thoroughly before laying tile.  
 3-Apply a waterproofing membrane, such as RedGard, to the slab before tiling.  
 4-Use a polymer-modified, dry-set mortar adhesive that's rated for outdoor use.  
 5-Cover the slab completely with the tile adhesive, and apply it to the back of the tiles as well.  
 6-Choose a grout that resists stains and fading. Grout to match tile color.  
 7-See 'Materials, Colors & Finishes Spec', a separate document for materials approved by HomeOwner.



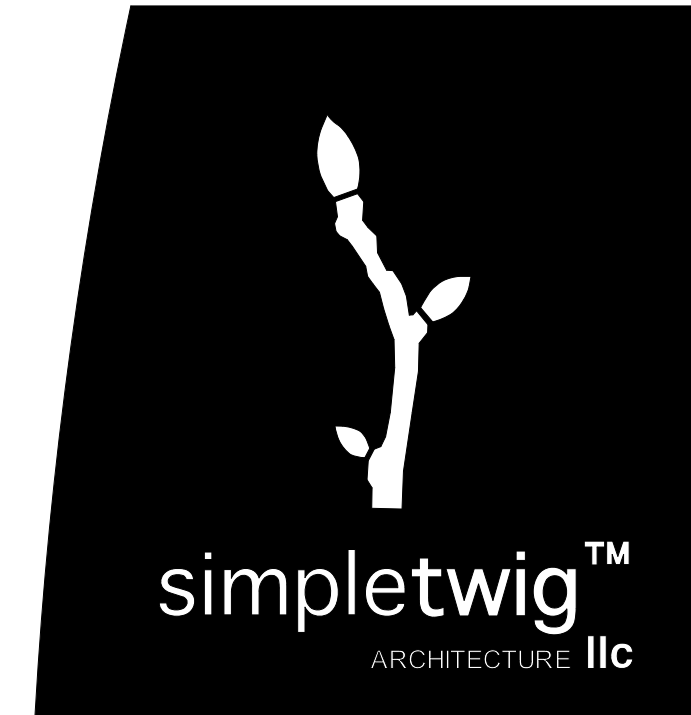
**FINISHED PATIO SURFACE NOTES:**  
**Option 1: Stamped and Stained Concrete in natural ashlar pattern (or as specified by Owner). If this option is selected, the final slab will be 4"± sloped as shown with the border shown and noted.**  
**Option 2: Porcelain Tile in 'A' (24x24), 'B' (24x18), 'C' (24x12) pattern shown, staggered rows as shown. Style and Brand to be selected, See Materials, Colors and Finishes Spec (separate reference document). If this option is selected the slab will be 4" min. w/ 6x6 wire with 8" curb/border at fence line and 4" curb/border at planting beds, being thicker to allow the finished tile and border surfaces to align (must verify tile thickness and setting material thickness to determine height of curb).**  
**Option 3: Concrete pavers, adjust new slab thickness to a min. of 3" to ensure the steps and Upper Patio dimensions remain viable.**  
**Option 4: Use of brick pavers set in sand. See 'adjust slab' note in option 3. Note this is the least desirable in terms of maintenance since water will remain pooled in the brick.**  
**Option 5: Use of natural stone on setting bed, see 'adjust slab' note in option 3.**

**GENERAL SLAB NOTES:**  
 1. In general, the existing slab will remain, capped with a new reinforced slab to slope as indicated.  
 2. Cut the existing slab where necessary to ensure at least 3" thick new slab.  
 3. If a portion of the existing slab is breaking up, remove it and fill in with new concrete.  
 4. If soil is exposed, make sure it is compacted before pouring concrete.  
 5. Border is part of sub-slab and frames the finished surface material and is thus thicker than the general slab. Coordinate thickness with finished material selected. Border is 8" wide, and/or aligns with an architectural element. Joints on the border have been determined. Where a border meets a fence post, the concrete of the post is at the same level as the border. Borders are brushed concrete w/ rounded over edges (like a regular sidewalk finish).



**Square Footage Area:**  
 Includes Fence Border, Planter Border, Pier & Buttress Borders (plus pier/buttress area) Parking Space and Lower Patio sub-slab. Does not account for 8" depth at planter border versus 4" general slab thickness (for tile) or other 'thicker than normal' slabs.

**2b - Concrete Slab Square Footages (approximate) and Expansion Joints**



PROJECT NAME  
 PROJECT LOCATION  
 CLIENT CONTACT INFORMATION

PROJECT TEAM  
 ARCHITECT & ARCHITECTURAL FIRM  
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	REVISION 3 (xxx.03)
	REVISION 4 (xxx.04)

**Patio Plan**  
 Finished Patio Plan, Drainage and Notes

PROFESSIONAL SEAL / SIGNATURE  
 DRAWING SCALE: 3/8" = 1'-0"  
 DRAWN BY / CHECKED BY: NB/NB  
 SHEET NUMBER: A-014.00  
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BIND THIS SIDE

Existing Chimney -  
1/2" expansion joint, caulk color to match masonry.

**NOTE:** All Steel Fence Posts to be pre-finished w/ rust proof material/paints. Protect from concrete splatter during setting (painters tape and 3 mil. plastic. See Materials Notes for final color.

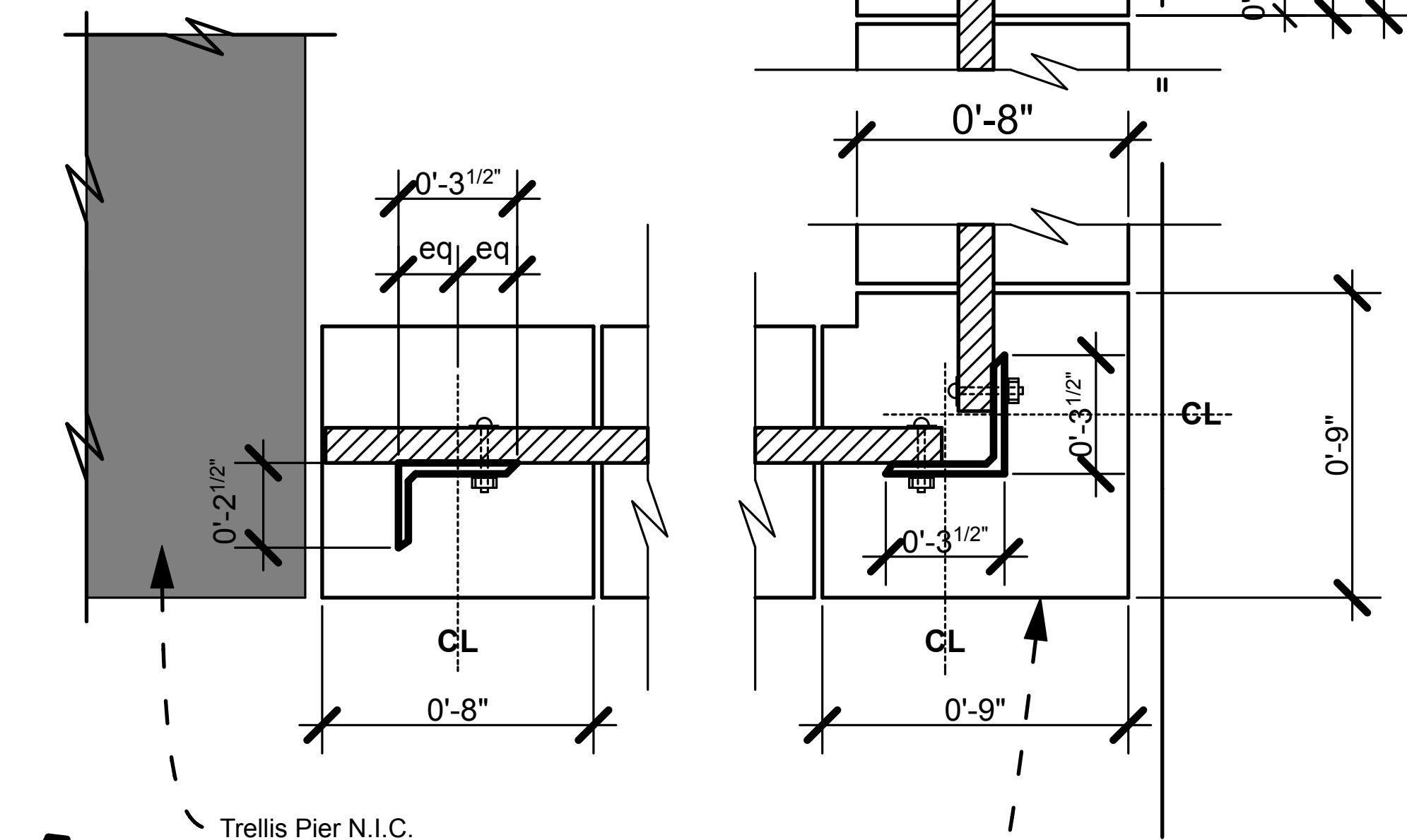
Cast-In-Place Concrete for angle support, sloped to match angle of adjacent material, typ. Coordinate w/ CMU block below. Note lengths of angles on Fence Elevation Drawings.

Precast coping. (Optional to make Cast-In-Place Concrete for all coping stones except on Addition Parapet and Door Sills/Headers).

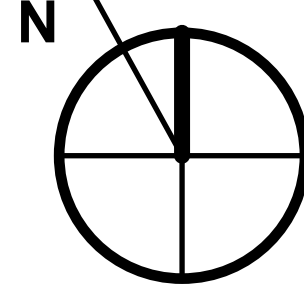
1"x5.5" horizontal wood planking. See Materials Notes for this project typ.

Screw head facing backyard side of fence typ.

Typical pre-finished Steel Angle (except at corner which is equal lengths). If 3.5" flange is not wide enough for bolts, then increase to 4" leaving return at 2.5".



Trellis Pier N.I.C.



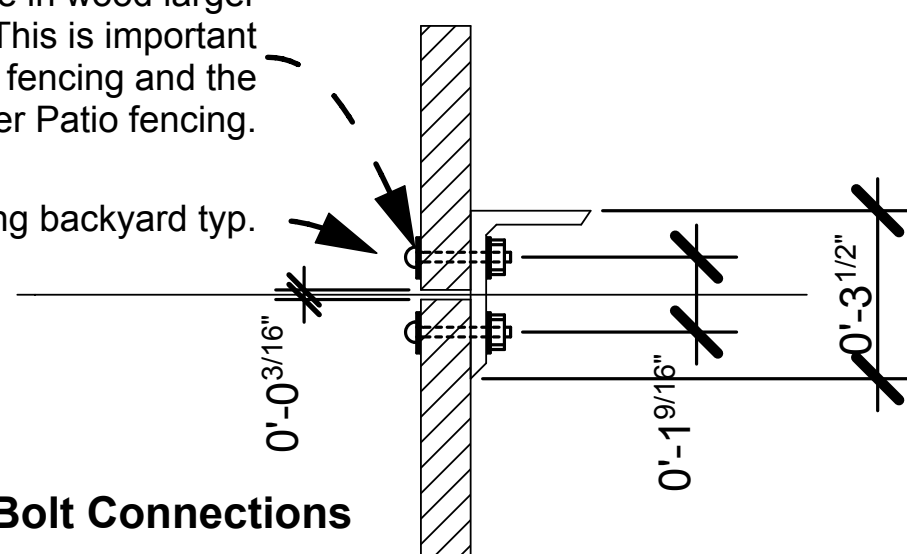
When pouring concrete to secure steel angle, protect the portion of the angle which will be above top of foundation from splatter. Remove protection when pour and work is done (as concrete is setting). Use painter's tape and 3 mil plastic.

**1a - PLAN DETAILS OF TYPICAL FENCE POST CONDITIONS**

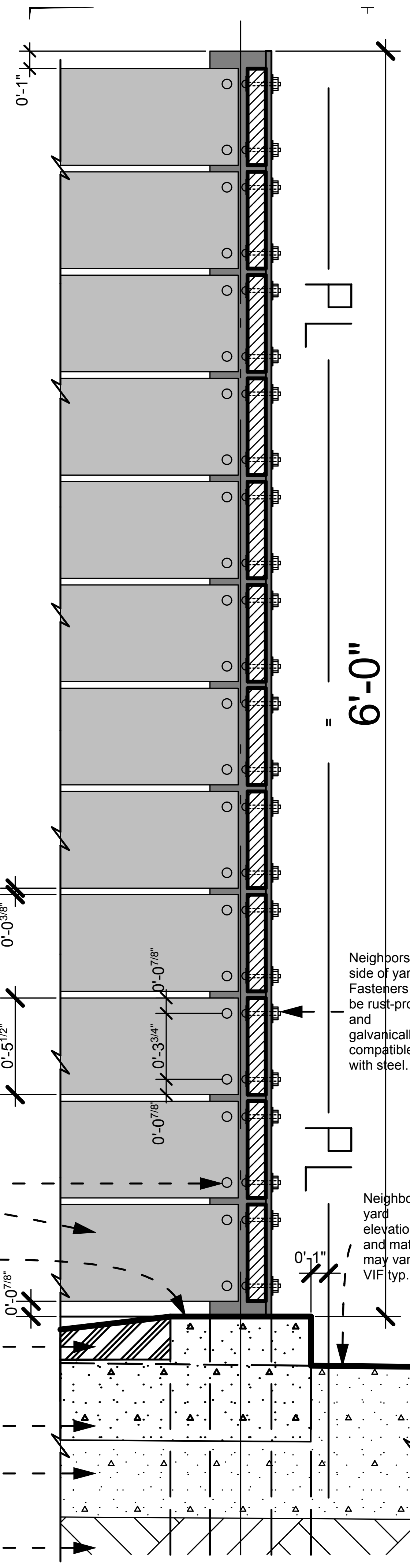
Bolt, Nut and Washers each side. Hole in wood larger than bolt to allow for movement typ. This is important especially between the Upper Patio fencing and the Lower Patio fencing.

Screw head side facing backyard typ.

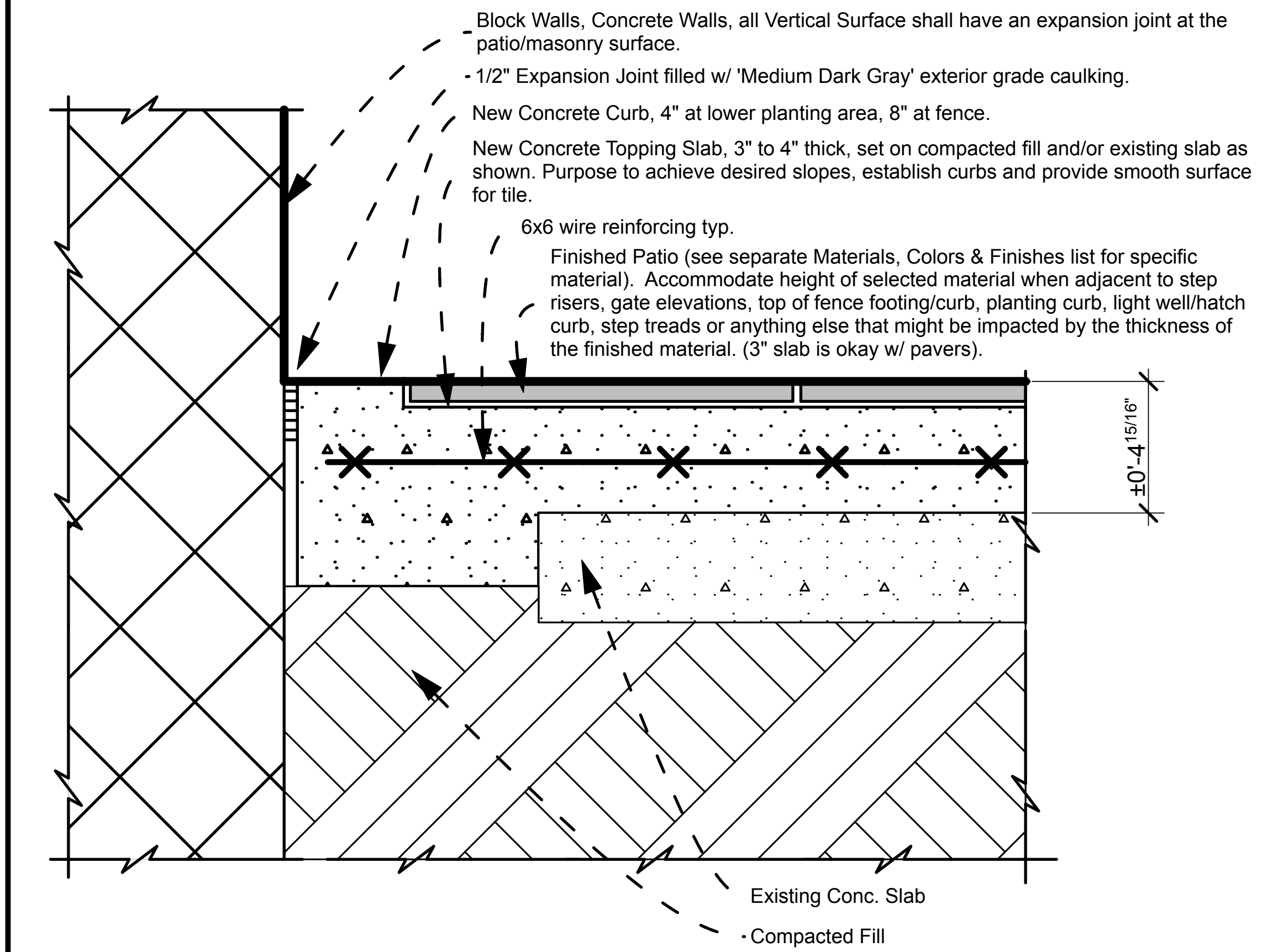
**1c - Typ. Bolt Connections**



**1 - PLAN/SECTION DETAILS OF FENCE**



**1b - SECTION AT CORNER POST**



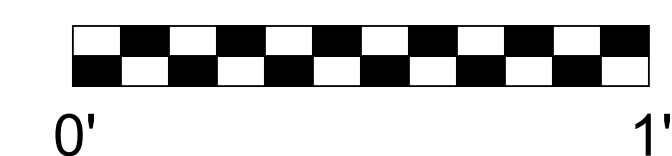
**2 - SECTION: TYPICAL NEW SLAB DETAIL (Coordinate with Patio Plan-Separate Contract).**

**Coordinate with neighbor for construction.**

**Anything of value should be moved away from construction area.**

**Protect all surfaces of neighbors property including concrete slab, structures, plants and house from splatter and/or damage of any kind.**

**Splatter of concrete, paint or any other material is not acceptable on neighbor's property. Ensure a proper tarp and if necessary plywood protects the neighbors property on both sides, at all times.**



**3 - MISC. PROJECT SPECIFIC NOTES**



PROJECT NAME

PROJECT LOCATION

CLIENT CONTACT INFORMATION

PROJECT TEAM

ARCHITECT & ARCHITECTURAL FIRM  
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Nicholas Buccalo, Architect 718-488-7894  
526 Prospect Avenue info@SimpleTwig.com  
Brooklyn, NY 11215 www.SimpleTwig.com  
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	REVISION 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE

**Patio Slab, Fence Details of Fence and sub-slab topping for slope**

PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE  
**3" = 1'-0"**

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**NB/NB**

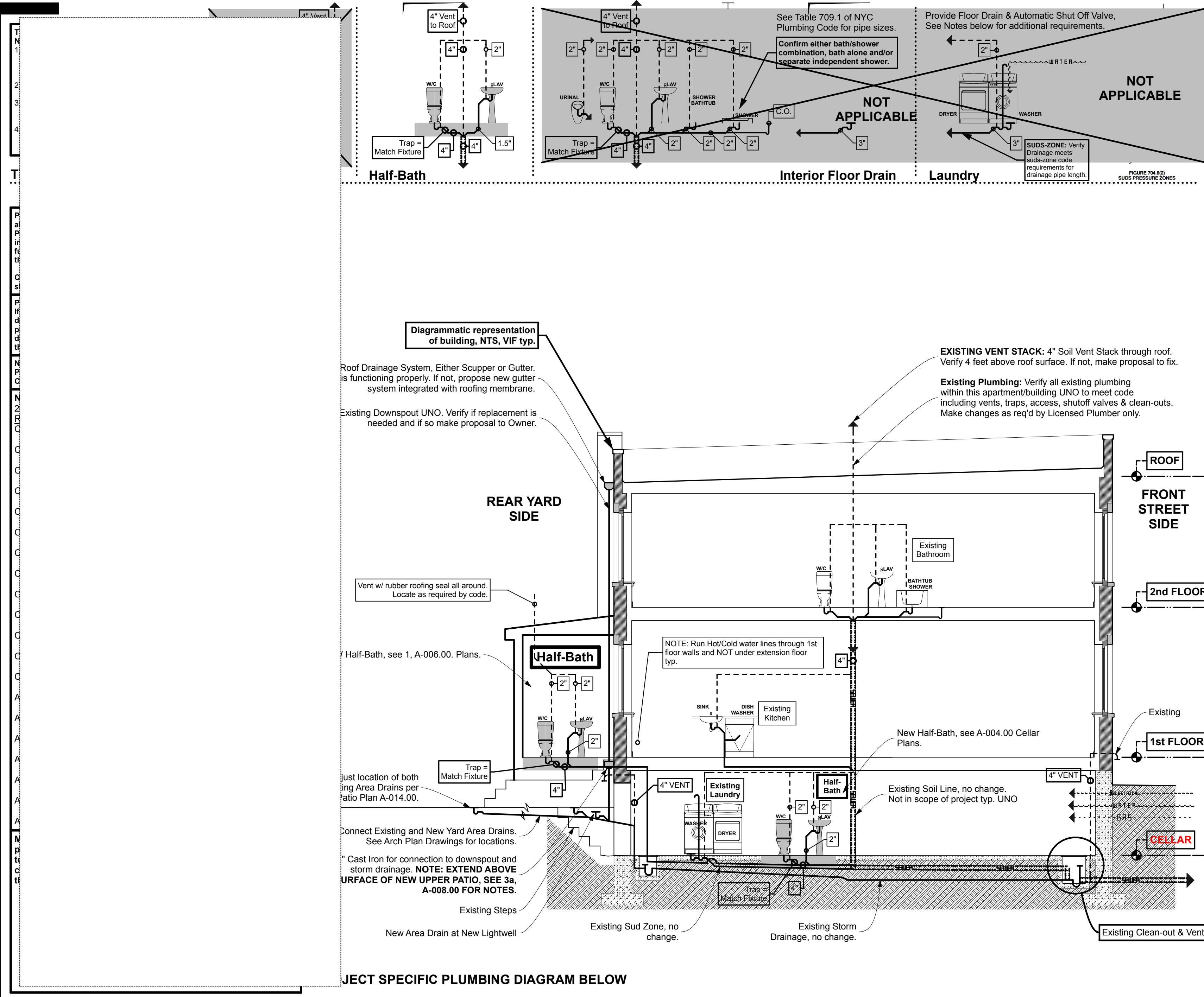
SHEET NUMBER  
**A-015.00**

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CON: ... and floor ...  
 1A) F ...  
 1B) H ...  
 1C) F ...  
 1D) V ...  
 GAS ...  
 DRY ...  
 STO ...  
 HVA ...  
 6) MI ...  
 6A-P ...  
 6B-P ...  
 6C-P ...  
 6D-P ...  
 6E-P ...  
 6F-P ...  
 POW ...  
 GEN ...  
 DEM ...  
 REL ...  
 INSU ...  
 OTH ...

BIND THIS SIDE



**3 - PLUMBING RISER DIAGRAM(S) & NOTES - NTS**

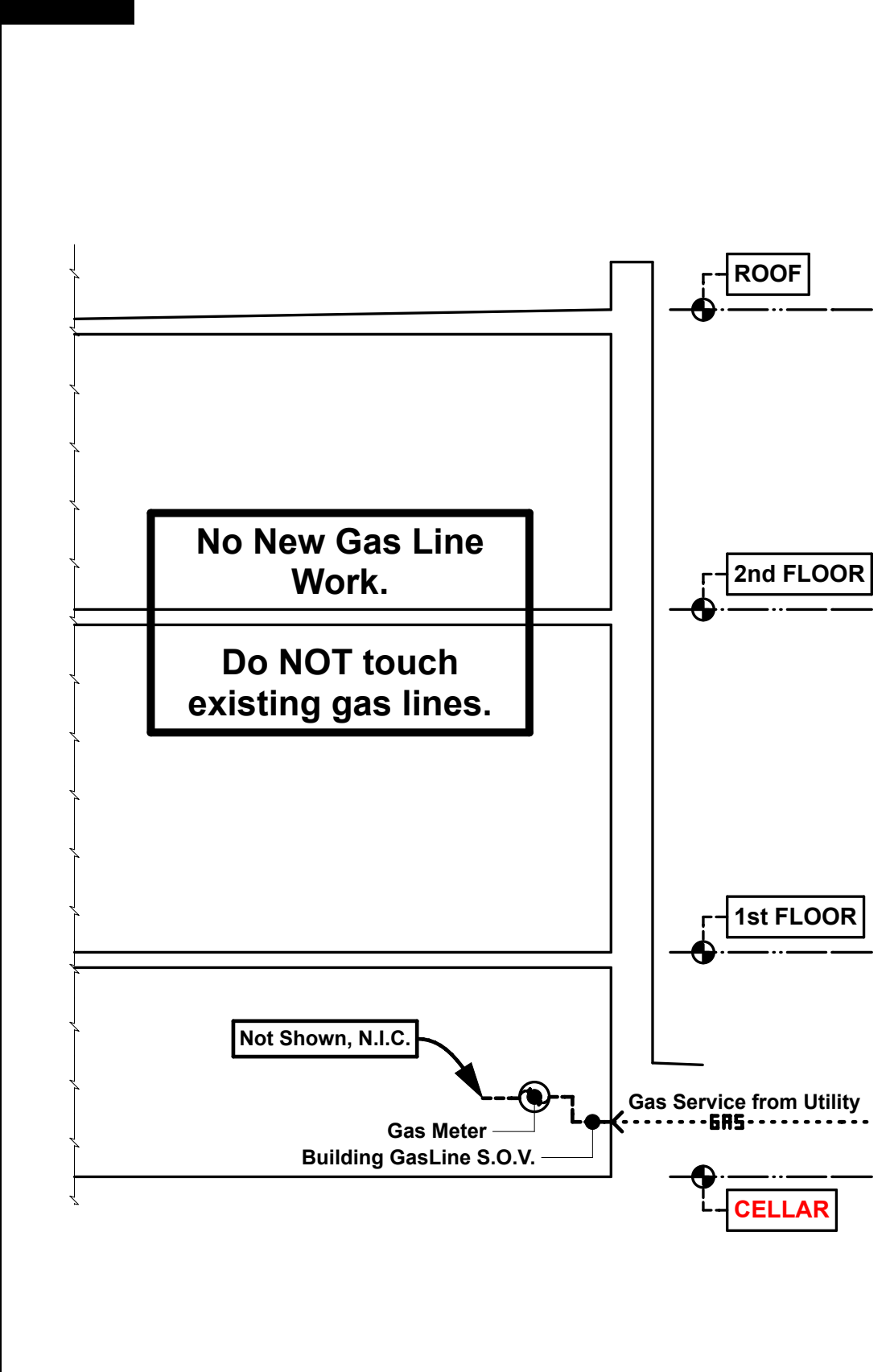
**Mounting pipes to ceiling:** Before mounting any pipes to the ceiling area, have the GC install GWB, then mount pipes through the GWB. Failure to do so will result in the Plumber having to uninstall the pipes in order to install GWB, and then reinstall the pipes. (It is impossible to install GWB around pipes and create a surface that is finished, this will not happen on SimpleTwig projects.)

**Where there is a soffit,** again have GWB installed at the ceiling of the inside of the soffit. Have the GC install the vertical portion of the framing leaving the underside open so the Plumber can install their pipe runs. When finished, inform the GC so they can finish the framing. See soffit framing section if provided, in Wall Types page.

**Vertical runs.** Where pipes run between joists, have the GC provide a boxed out with 2x8's or as required to be the same depth of the joist, to use as a box for your vertical pipes. This box will not be covered by GWB as noted with the Ceiling note above, so the Plumber can perform their work, but allow an edge for other GWB ceiling installation.

See Detail 1, this page, for additional Plumber/General Contractor (GC) coordination notes.

**7 - COORDINATED INSTALLATION OF PLUMBING**



**8 - GAS RISER DIAGRAM - NTS**

**1 - PLUMBING CODE COMPLIANCE NOTES**

1) A ...  
 2) A ...  
 3) P ...  
 4) L ...  
 5) E ...  
 6) A ...  
 7) P ...  
 8) T ...  
 9) B ...  
 10) ...  
 11) ...  
 12) ...

**4 - GENERAL HEATING & COOLING NOTES**

**AIR CONDITIONING:** (IF APPLICABLE FOR THIS PROJECT)

**HOSE BIBS:**

**5 - WATER SERVICE & MANAGEMENT NOTES**

**DRYER:** Dryer vent to run inside of wall cavities always.

**6 - WASHER & DRYER MACHINE NOTES**

**BOILER:** Inspect existing Boiler to determine if replacement is required.

**10 - PROJECT SPECIFIC NOTES**

Owner, Contractor and DOB that they are not part of this project.



**PROJECT NAME**

**PROJECT LOCATION**

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**Plumbing/Gas Diagrams and Notes**

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**EXTERIOR STOREFRONT DOOR SCHEDULE**

**EXTERIOR RESIDENTIAL DOOR SCHEDULE**

**INTERIOR RESIDENTIAL DOOR SCHEDULE**

**UNIVERSAL INTERIOR NOTES:**

Typ. Location/Descrpt.	Plan Symbol	Exterior Elevation	Interior Elevation	Notes	
<b>General Notes that apply to each column:</b> Note: For Exterior doors, hexagon marker is in BOLD & Number starts with an "E". Brick pattern shown indicated 'exterior side' and may be different on project. Refer to Architectural plans/elevations for exterior surface material used. See Exterior Elevations/Details if provided. Interior trim may vary from 'framed out' to CWB return. Verify on Plans/Notes. See Interior Elevations/Details if provided. Refer to HC Requirements for locations of handles, peep holes, locks, thresholds, widths and other relevant info. These notes supersede other notes typ.					
	X				2 Hour rated door and frame. Fill frame with concrete and secure to masonry with metal tabs. Provide self-closing mechanism. Latch lock on interior side to ensure personnel can exit room. Provide signage to include room name, private or other appropriate indicator. UNO.
	X				Baseboard not shown, refer to Arch Dwgs.
	X				Baseboard not shown, refer to Arch Dwgs.
	X				Baseboard not shown, refer to Arch Dwgs.
	X				Baseboard not shown, refer to Arch Dwgs.
	X				Baseboard not shown, refer to Arch Dwgs.
	X				Baseboard not shown, refer to Arch Dwgs.

Typ. Location/Descrpt.	Plan Symbol	Exterior Elevation	Interior Elevation	Notes	
<b>Row at Right:</b> General Notes that apply to each column: Note: For Exterior doors, hexagon marker is in BOLD & Number starts with an "E". Brick pattern shown indicated 'exterior side' and may be different on project. Refer to Architectural plans/elevations for exterior surface material used. See Exterior Elevations/Details if provided. Interior trim may vary from 'framed out' to CWB return. Verify on Plans/Notes. See Interior Elevations/Details if provided. Refer to Handicap Requirements for locations of handles, peep holes, locks, thresholds, widths and other relevant info. All exterior doors to be insulated, with weather tight seal. Threshold to be level with interior finished surface. See "Program" for specs on make/model. VIF all existing/new dimensions.					
	X				Segmented Arch or Full Arch French Door. Prime/Painted Frame & Door or Natural Finished as specified. Aluminum Threshold. Door Lever Knob & 3 Point Locking System. Insulated Glass. Screen Doors optional. See floor plan symbol for quantity, sizes, Fire Rating and U-Factor information.
	X				Segmented Arch or Full Arch Door. Prime/Painted Frame & Door or Natural Finished as specified. Aluminum Threshold. Door Lever Knob & 3 Point Locking System. Insulated Tempered Glass. Screen Doors optional. See floor plan symbol for quantity, sizes, Fire Rating and U-Factor info.
	X				Single Door. Prime/Painted Frame & Door or Natural Finished as specified. Aluminum Threshold. Door Lever Knob & Bolt Locking System. Insulated Tempered Glass. Screen Doors optional. See floor plan symbol for quantity, sizes, Fire Rating and U-Factor info.
	X				French Door. Prime/Painted Frame & Door or Natural Finished as specified. Aluminum Threshold. Door Lever Knob & 3 Point Locking System. Insulated Tempered Glass. Screen Doors optional. See floor plan symbol for quantity, sizes, Fire Rating and U-Factor info.
	X				Single Door with Side-lite. Prime/Painted Frame & Door or Natural Finished as specified. Aluminum Threshold. Door Lever Knob & Bolt Locking System. Insulated Tempered Glass. Screen Doors optional. See floor plan symbol for quantity, sizes, Fire Rating and U-Factor info.
	X				Single Door with 2 Side-lites. Prime/Painted Frame & Door or Natural Finished as specified. Aluminum Threshold. Door Lever Knob & Bolt Locking System. Insulated Tempered Glass. Screen Doors optional. See floor plan symbol for quantity, sizes, Fire Rating and U-Factor info.
	X				Solid Door with 2 Side-lites. Prime/Painted Frame & Door or Natural Finished as specified. Aluminum Threshold. Door Lever Knob & Bolt Locking System. Insulated Tempered Glass. Screen Doors optional. See floor plan symbol for quantity, sizes, Fire Rating and U-Factor info.

Typ. Location/Descrpt.	Plan Symbol	Exterior Elevation	Notes
<b>Row at Right:</b> General Notes that apply to each column: Note: For Interior doors, hexagon marker is smaller in size and NOT BOLD. Number starts with an "I". 'Exterior' (corridor or main room side) and 'interior' (room side) finishes to match on both sides of door; either natural polyurethaned, stained or primed/painted as noted. See finish specifications & notes. See Architectural Elevations/Details if provided for panels, trim and baseboards UNO. Interior Elev. Side of Door, similar, typ. Refer to Handicap Requirements for locations of handles, peep holes, locks, thresholds, widths and other relevant info. If Hollow-Core Doors are specified, do not cut them down in size, instead frame opening properly or purchase the correct sized door.			
	X		Interior Elev. Side of Door, similar, typ.
	X		Interior Elev. Side of Door, similar, typ.
	X		Interior Elev. Side of Door, similar, typ.
	X		Interior Elev. Side of Door, similar, typ.
	X		Interior Elev. Side of Door, similar, typ.
	X		Interior Elev. Side of Door, similar, typ.
	X		Interior Elev. Side of Door, similar, typ.
	X		Interior Elev. Side of Door, similar, typ.
	X		Interior Elev. Side of Door, similar, typ.
	X		Interior Elev. Side of Door, similar, typ.
	X		Interior Elev. Side of Door, similar, typ.

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**1 - Exterior DOOR SCHEDULE DIAGRAM(S) & NOTES** (see 'Is this door used?' note first)

**1** - 4 or 2 - Family Unit Exterior Entrance Door, Wood/Glass

**2** - Exterior Patio/ Garden French Doors, Wood/Glass

**3** - 1 or 2 - Family Unit Interior Entrance Door (from Corridor), Wood

**4** - Multi-Family Unit Interior Entrance Door (from Corridor) 2 Hr. Mtl. Door/ Frame.

3'-2 1/2" UNO-HC Accessible

5'-0"

3'-2 1/2" UNO-HC Accessible

5'-0"

Reserved

**2 - Exterior DOOR SCHEDULE DIAGRAM(S) & NOTES** (see 'Is this door used?' note first)

**REUSE:** Where ever an existing door is remove, make effort to reuse it. If door is to be reused, leave natural finishes as is (polyurethane, varnish, etc) to supersede the following notes, unless refinishing requested by Owner.

**LEAD:** Check painted doors/trim for lead, replace door/trim if lead is found, disposing of door/trim as required by code or remove paint for refinishing as requested by Owner. No lead may be left on premises.

**DIMENSIONS:** Verify all dimensions with plans and on-site conditions.

**SCOPE:** Contractor to supply all doors, trim, baseboards, hardware, fasteners, etc. to complete work and installation. UNO.

**HARDWARE:** Verify with Owner's approval all hardware including hinges, locks, knobs, door stops, etc. to complete job. Use doors locks that can have a Master, or if single family a lock that allows the home-owner to use one key for all exterior doors including roof door.

**DOOR STOPS:** All bathrooms to have floor mounted stainless steel semi-circle door stops. All other doors to have wall/baseboard mounted or floor type door stops unless not feasible. Review with Architect/Owner if there is an issue.

**OWNER:** All hardware, door styles and trim to be reviewed with Architect/Owner for approval before purchasing and installing. If more than one Owner, ensure that all Owners are informed.

**3 - Interior DOOR SCHEDULE DIAGRAM(S) & NOTES** (see 'Is this door used?' note)

Interior Elev. Side of Door, similar, typ.

**ROOF ACCESS:** Access to roof, etc. via door to be constructed. Use steel door with heavy duty lock and handle.

**CONSTRUCTION:** Construct and hand "Stock Itc"

**REVISIONS:** See revision table on page 17 of 22.

**OWNER APPROVAL:** See notes on page 17 of 22.

**Door Schedule Diagrams and Notes**

PROFESSIONAL SEAL / SIGNATURE: \_\_\_\_\_ DRAWING SCALE: **3/16" = 1'-0"**

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PROJECT NAME: \_\_\_\_\_  
 PROJECT LOCATION: \_\_\_\_\_  
 CLIENT CONTACT INFORMATION: \_\_\_\_\_

ARCHITECT & ARCHITECTURAL FIRM: **SimpleTwig - Architecture llc**  
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**Door Schedule Diagrams and Notes**

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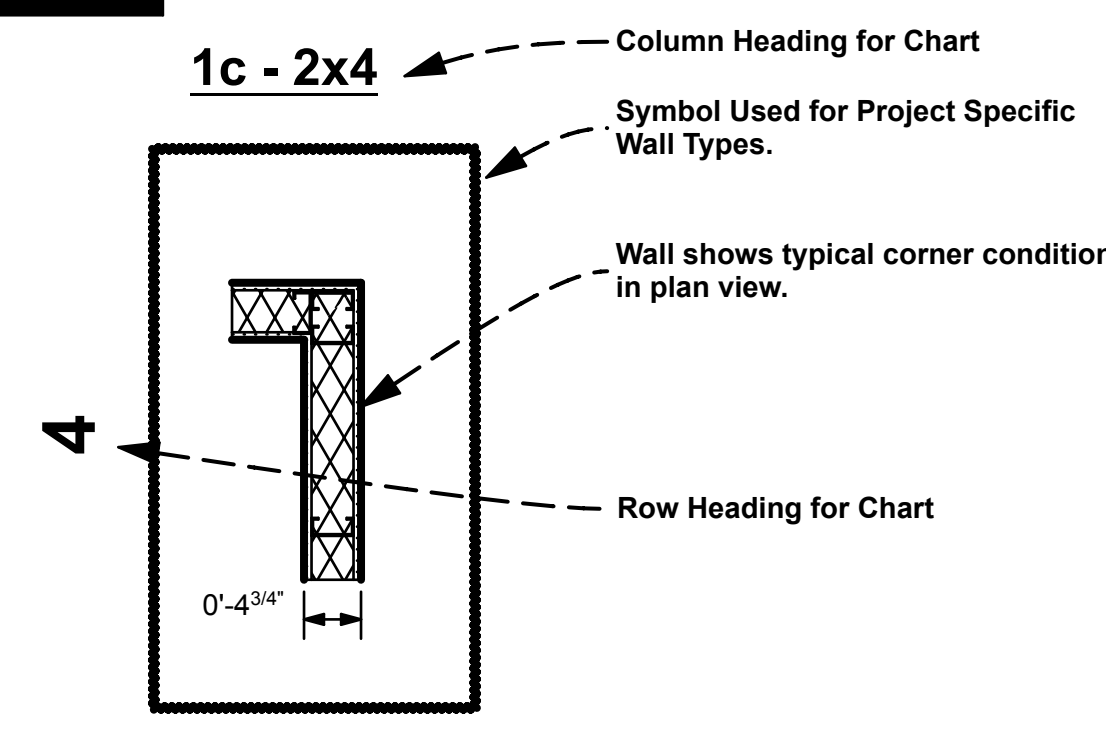
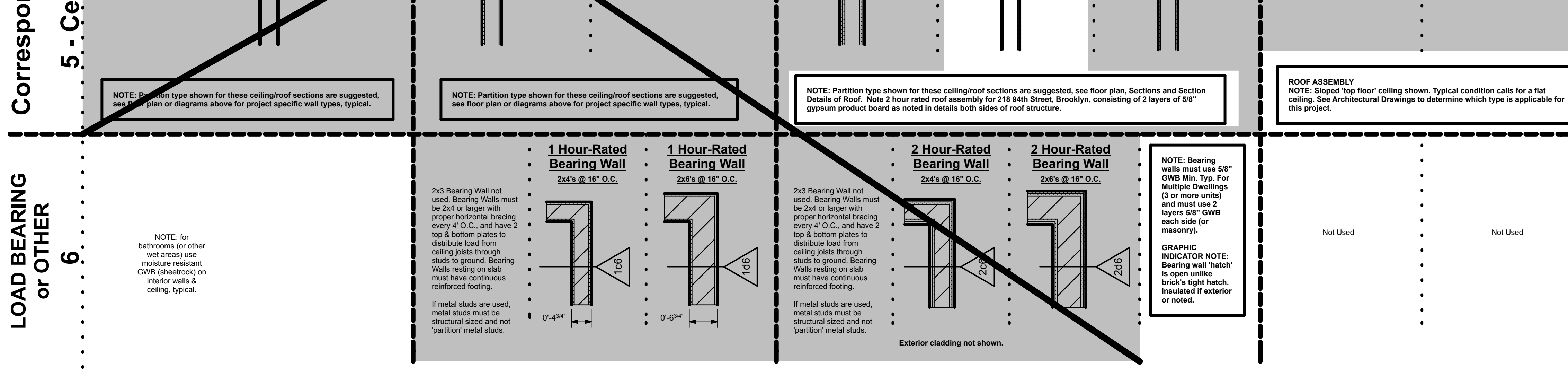
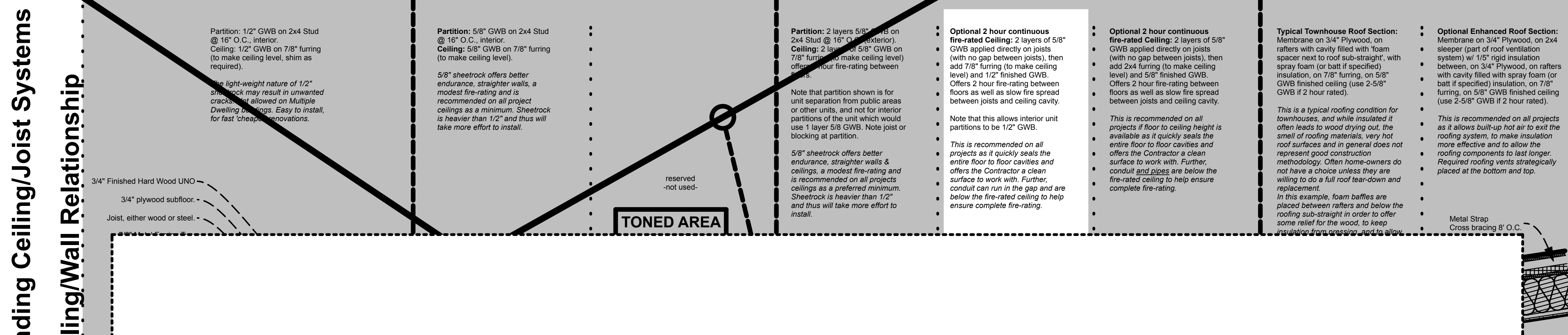
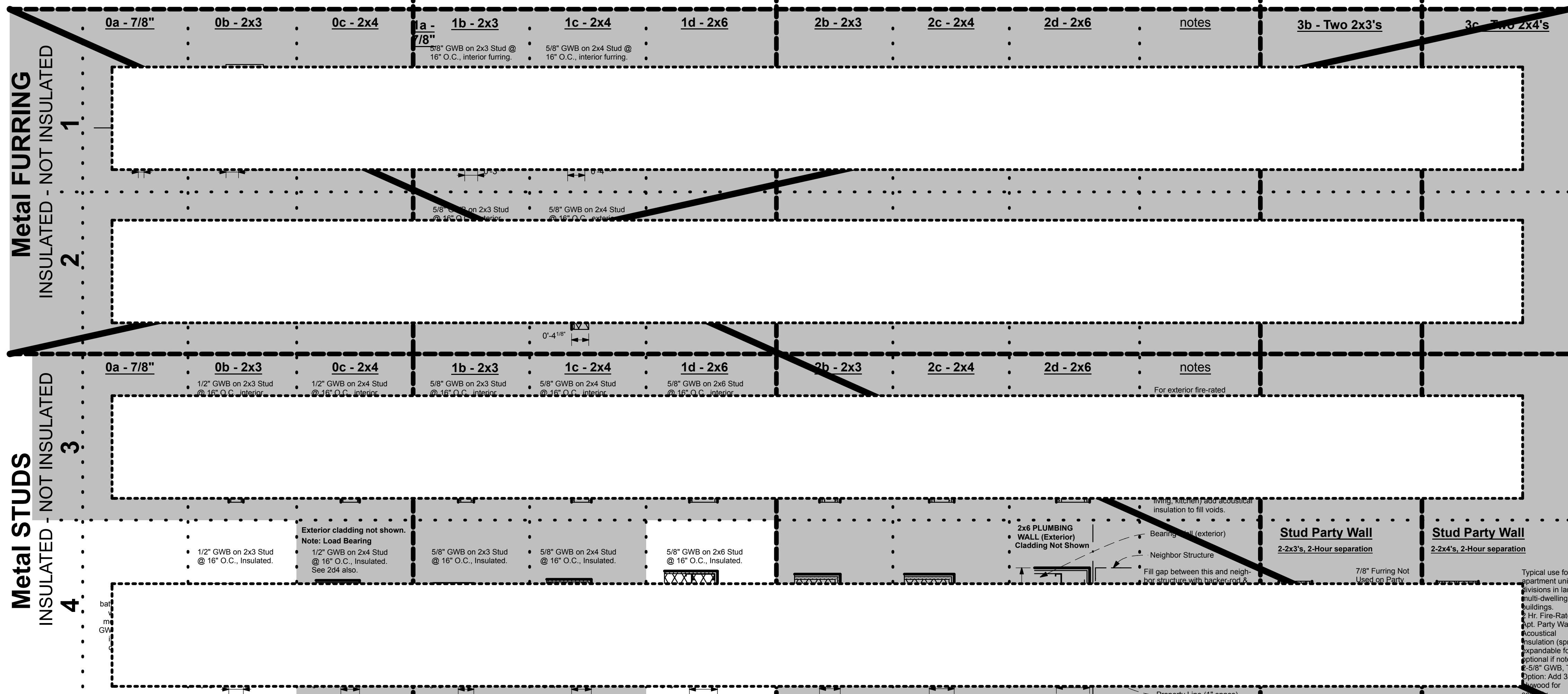


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### Light-Resistance Construction Not Fire Rated, 1 layer 1/2" GWB Interior Walls.

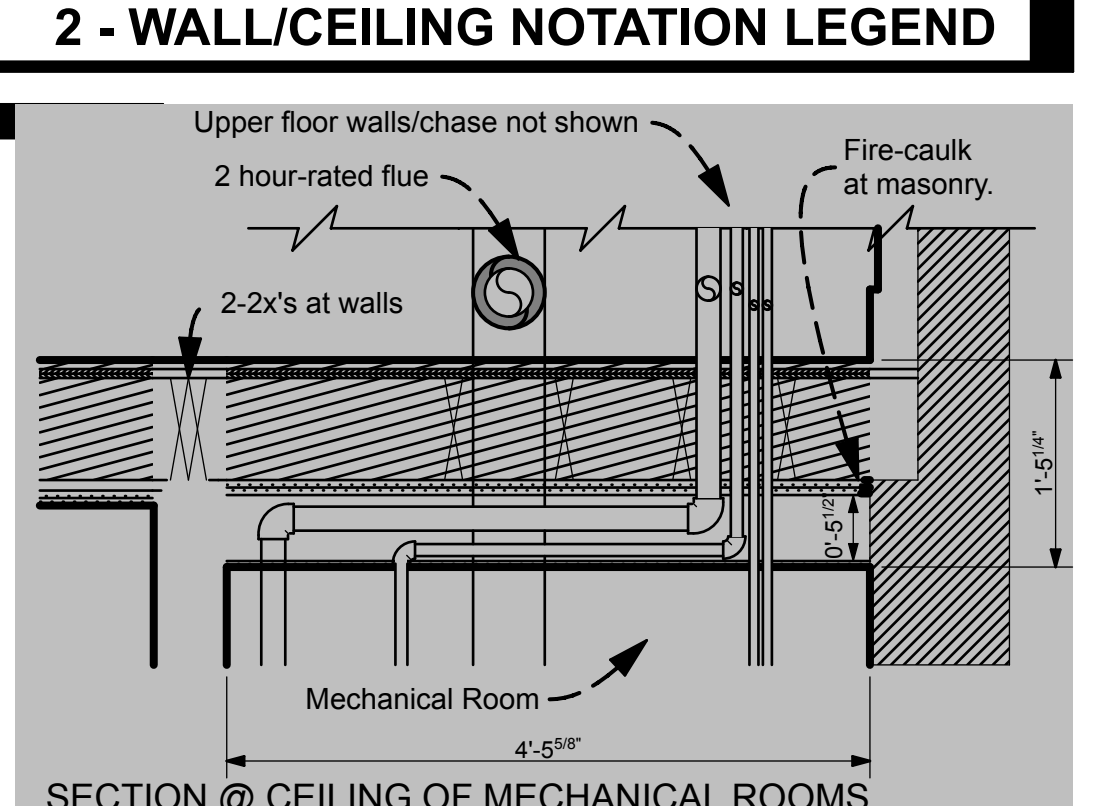
### Medium-Resistance Construction 1 Hour Fire Rated, 1 layer 5/8" GWB Interior Walls

### Heavy-Resistance Construction 2 Hour Fire Rated, 2 layers 5/8" GWB, or as noted.



How to read the above, within the Architectural Drawing Floor Plans. Below represents the typical 'wall type' symbol. Use this to find the Wall Type on this page using the above description as a guide.

**2 - WALL/CEILING NOTATION LEGEND**



**COORDINATION & PHASING OF INSTALLATION**

**NOTE:** Plumber to coordinate with GC before installing any Mechanical Room Pipes.

GC to install 2 layers 5/8" GWB directly to joists, with 2x blocked out 'rafts' where vertical pipe/vent chases will be located (to seal joint cavity), then install 5.8" 'spacers' (not continuous, but open spacing to allow plumber ample room to work) below 2 layers 5/8" GWB. GC to chalk-line locations of joists so plumber knows where attachment is possible.

Plumber to use 'soffit area' for all horizontal runs to the vertical chases.

GC: Once pipes/vents are installed, GC to 'fire-caulk' seal all penetrations at 2 layers 5/8" GWB, filling joist cavities as well, and then install 1/2" GWB (w/ furring if required) to finish ceiling, caulking around all ceiling penetrations. The final result is all horizontal runs will be above the 1/2" finished GWB. Prime/paint finished ceiling & walls.

GC to ensure that no pipe penetration, whether from the ground, wall or ceiling, is left with any gaps. In slab and/or masonry walls, use cementitious product and then caulking (next to pipe/vent) to prevent cracking to seal.

The above will prevent unwanted moisture, insects, 'dusty' air or other unwanted issues to arise, and provide full 2 hour fire-rated enclosure.

### 3 - MECHANICAL RM CEILING/PIPES

**EXTENSION ONLY:**

**NOTES:**  
REMOVE ALL CLADDING AND INTERIOR GWB TO INSPECT ALL FRAMING.

- 1) Inspect existing studs, joists, rafters and sheathing for rot, failed connectors, etc. and replace with new as required.
- 2) Add new corner brackets to resist lateral forces, and tie-down metal brackets to prevent uplift.
- 3) Ensure sill plate is anchored to masonry and if not provide bolts to a depth of 1'-6" into masonry, or if new masonry is added to exterior through joists to exterior.
- 4) Replace exterior 3/4" plywood sheathing with new plywood sheathing and cover with building wrap type.
- 5) Inspect rafter anchor to masonry at top of ridge to ensure it is properly secure. If Not, add 1 galvanized anchor bolt through 6" square plate on interior of masonry every 18" (on new ledger plate if necessary).
- 6) Add continuous copper flashing inset into existing masonry (below 2nd floor window) 6" above top of finished roof at top ridge, to accept roofing membrane.

**TERMITE STOPS:**  
Add metal angle termite stop to both interior and exterior top of masonry foundation but below wood components to prevent termite infestation.

**EXTERIOR OPTIONS:**  
Option 1: If new masonry (split face block) is added to exterior (8" unit depth), add anchors to secure studs and rafters to masonry. This option would require new masonry foundation walls to 4' depth x 8" wide down to footings in order to support new masonry finish. Finish block with stucco on int. mesh. Provide new masonry sill for window (or other openings).  
Option 2: If new masonry cladding (4" units) is added to exterior stud face, ensure 'bricks' are attached to stud assembly every 4' O.C. in both directions and at top, and that stud, joists and rafters are firmly secured to support cladding. This option would require new masonry foundation walls to 4' depth x 8" wide down to footings in order to support new masonry finish. Finish block with stucco on int. mesh. Provide new masonry sill for window (or other openings).  
Option 3: If wood (or similar product) cladding is added to sheathing, ensure finish will prevent rot if not naturally rot resistant, or as specified/note. Confirm finish with Owner/Architect.

**GRAPHIC INDICATOR NOTE:**  
Bearing wall 'hatch' is open unlike brick's tight hatch. Insulated if exterior or noted.

Not Used

Not Used

**4 - PROJECT SPECIFIC NOTES**



PROJECT NAME: \_\_\_\_\_

PROJECT LOCATION: \_\_\_\_\_

CLIENT CONTACT INFORMATION: \_\_\_\_\_

PROJECT TEAM

ARCHITECT & ARCHITECTURAL FIRM  
SimpleTwig - Architecture, Inc.  
Nicholas Buccalo, Architect 718-488-7894  
526 Prospect Avenue info@SimpleTwig.com  
Brooklyn, NY 11215 www.SimpleTwig.com  
every nest starts with a simple twig... NY License: 024197

FILING REPRESENTATIVE: \_\_\_\_\_

CONSULTANTS - ENGINEERS: \_\_\_\_\_

DATE	DESCRIPTION
Aug 20, 2017	SUBMISSION TO DOB, PROJECT START
	REVISION 1 (xxx.01)
	REVISION 2 (xxx.02)
	REVISION 3 (xxx.03)
	REVISION 4 (xxx.04)

**Wall/Ceiling Type**  
Stud Walls, Joist Ceilings  
Construction Class

PROFESSIONAL SEAL / SIGNATURE: \_\_\_\_\_ DRAWING SCALE: 3/4" = 1'-0"

DRAWN BY / CHECKED BY: NB/NB

SHEET NUMBER: A-018.00

PAGE 18 OF 22 PAGES

DEPARTMENT OF BUILDINGS

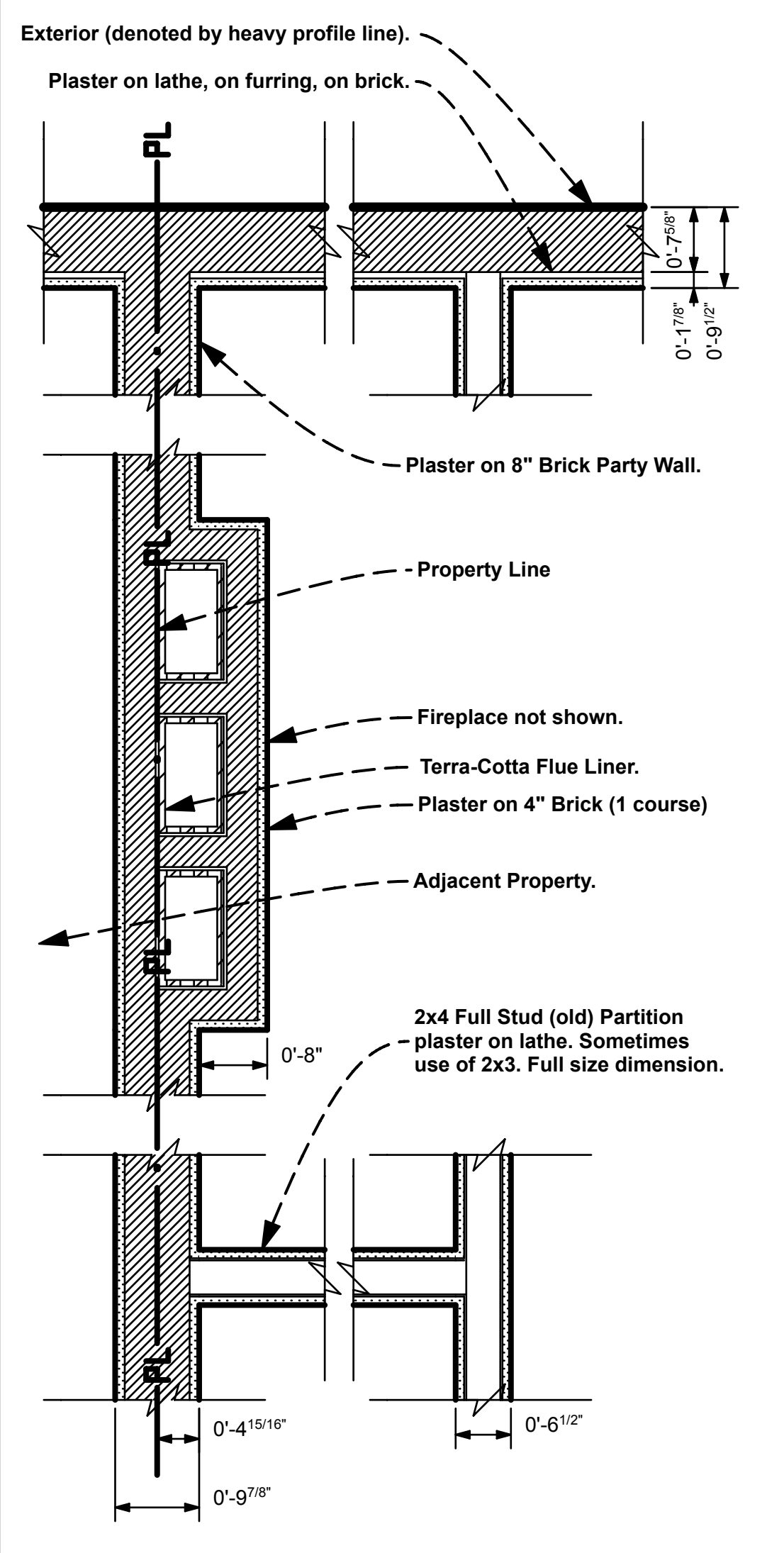


BIND THIS SIDE

	0-Light-Resistance Construction 0 Hour Fire Rated 1/2" GWB Interior partition walls or ceiling.			1-Medium-Resistance Const. 1 Hour Fire Rated 1-5/8" GWB Interior Walls (*1a 7/8" not shown)				2-Heavy-Resistance Construction 2 Hour Fire Rated 2 layers 5/8" GWB UNO			
	0a - 7/8"	0b - 2x3	0c - 2x4	1a - 7/8"	1b - 2x3	1c - 2x4	1d - 2x6	2b - 2x3	2c - 2x4	2d - 2x6	2e - MISC
INTERIOR MASONRY ASSEMBLY			Not Used	Not Used	Not Used	Not Used	Not Used	Not Used	Not Used	Not Used	Not Used
BRICK and/or MASONRY ASSEMBLY				Not Used						Not Used	
STUCCO (or not) BRICK ASSEMBLY	Not Used	Not Used		Not Used			Not Used	Not Used	Not Used	Not Used	Not Used
STUCCO STUD ASSEMBLY	Not Used	Not Used		Not Used			Not Used				
STUCCO CMU/BLOCK ASSEMBLY	Not Used			Not Used			Not Used		Not Used	Not Used	Not Used
RESERVED	Area Left Blank										

Masonry Only Int/ Exterior Finish	W - Solid Masonry

**Note for 218 94th Street:** The Existing Brick Chimney on this house is on the rear facade. As such it can not support any load including horizontal loads. Therefore, always provide 3/4" expansion joint between existing chimney and new construction.



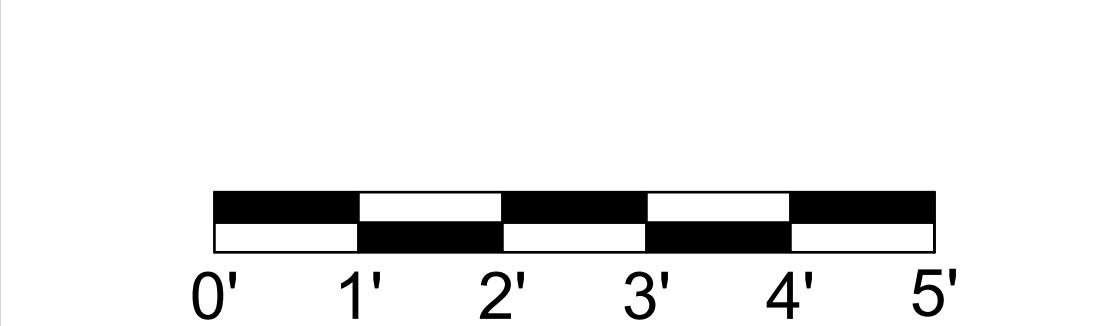
TYPICAL BRICK TOWNHOUSE EXISTING CONSTRUCTION. Dimensions Approximate, V.I.F. Party Wall & Exterior Masonry thickness, and, Property Line location can vary.

**3 - EXISTING CONSTRUCTION**

If an assembly includes Dens Glass Gold, see Specifications.  
For Wall Types Legend and 'how to use' see previous page.

New Addition must meet 2Hr Fire Rating on the exterior, and 1 hour from the interior. From the exterior side (8" CMU block exterior, 2 layers 5/8" Dens Glass Gold),

Interior: (use of 1 layer 1/2" or 5/8" GWB for example).  
The above is acceptable for 1 and 2 family dwellings only.  
Note ceiling of new addition has 2 layers of 5/8" GWB, moisture resistant in the half-bath.



**4 - PROJECT SPECIFIC NOTES**



PROJECT NAME  
PROJECT LOCATION  
CLIENT CONTACT INFORMATION

PROJECT TEAM  
ARCHITECT & ARCHITECTURAL FIRM  
SimpleTwig - Architecture llc  
Nicholas Buccalo, Architect 718-488-7894  
526 Prospect Avenue info@SimpleTwig.com  
Brooklyn, NY 11215 www.SimpleTwig.com  
every nest starts with a simple twig... NY License: 024197

DATE	DESCRIPTION
Aug 20, 2017	SUBMISSION TO DOB, PROJECT START
	REVISION 1 (xxx.01)
	REVISION 2 (xxx.02)
	REVISION 3 (xxx.03)
	REVISION 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE  
**Wall Types**  
Masonry, Stucco, Composite & Misc.  
Walls - Construction Class

PROFESSIONAL SEAL / SIGNATURE  
DRAWING SCALE  
3/4" = 1'-0"  
DRAWN BY / CHECKED BY  
NB/NB  
SHEET NUMBER  
A-019.00  
PAGE 19 OF 22 PAGES

DEPARTMENT OF BUILDINGS

**2 - WALL TYPES - MASONRY, COMPOSITE & MISCELLANEOUS ASSEMBLIES**

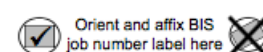
**4 - PROJECT SPECIFIC NOTES**







TR1: Technical Report Statement of Responsibility



1 Location Information Required for all applications. House No(s) ZZZ Street Name ZZZ Work on Floor(s) ZZZ

2 Applicant Information Required for all applications. Choose all that apply: Design Applicant 3A, 4A, 5 Special Inspections Applicant 3B-D, 6-9 Progress Inspections Applicant 4B-D, 6-9

Last Name First Name Middle Initial Business Name Business Telephone Business Address Business Fax City State Zip Mobile Telephone License Type choose one: P.E. R.A. Other: Special Inspection Agency Number

3 Special Inspection Categories Required for all applications, continued on page 2. Indicates report required.

Table with 4 columns: Identification of Requirement, Code/Section, Identification of Complete Inspections / Tests, Withdrawal Responsibilities. Rows include Structural Steel, Concrete, Masonry, etc.

NOTE: EXPEDITOR SUBMITTED FORMS SUPERSEDES THESE FORMS TYPICAL

TR1 12/2014

TR1: Technical Report Statement of Responsibility



3 Special Inspection Categories (continued) Required for all applications, continued on page 2. Indicates report required.

Table with 4 columns: Identification of Requirement, Code/Section, Identification of Complete Inspections / Tests, Withdrawal Responsibilities. Rows include Heating and Moving of a Building, Fire-Resistant Penetrations, etc.

NOTE: EXPEDITOR SUBMITTED FORMS SUPERSEDES THESE FORMS TYPICAL

Submit TR3 to complete this item

Submit TR2 to complete this item

4 Progress Inspection Categories Required for all applications. Indicates report required.

Table with 4 columns: Identification of Requirement, Code/Section, Identification of Complete Inspections / Tests, Withdrawal Responsibilities. Rows include Preliminary, Flooding and Foundation, etc.

5 Design Applicant's Statements and Signatures P.E./R.A. responsible for plans, choose both below and sign/seal.

I have identified all of the special inspections, progress inspections and tests required for compliance. I certify that the Special Inspection and Approved Agencies engaged by the owner to supervise the work specified above are acceptable. (BC 1704.1)

TR1 12/2014

INSPECTIONS:

TECHNICAL FORMS (for inspections): All forms listed here: http://www1.nyc.gov/site/buildings/about/forms page. Items that are "strike-through" text are not applicable. Other inspections may be required.

CONCRETE (SPECIAL INSPECTOR ONLY): TR1 Technical Report: Statement of Responsibility (Form provided, see this page, ensuring the form is up to date). Use this form to identify responsibility or to report the results of completed inspections or tests.

TR2 Technical Report: Concrete Pouring, Sampling and Compression Test Cylinders. File this form with the TR1 upon completion of required inspections/tests.

TR3 Technical Report: Concrete Design Mix. Use this form to indicate results of tests and final design mixture for strength of controlled concrete.

TR3P Technical Report: Concrete Design Mix. This form should be used by approved providers to indicate results of tests and final design mixtures for strength of controlled concrete.

SOIL (SPECIAL INSPECTOR ONLY) (New Buildings or Additions)

TR4 Technical Report: Soil Inspection. File this form with the TR1 upon completion of required inspections/tests.

TR4S Technical Report: Soil Driving. Use this form to indicate results of test report for pile driving.

TR4H Technical Report: Helical Pile Installation. This is a new form for the 2014 Codes and cannot be submitted to the Department prior to the effective date of the 2014 Codes, December 31, 2014.

EXISTING BUILDING EXTERIOR MAINTENANCE (SPECIAL INSPECTOR ONLY)

TR6 Technical Report: Periodic Inspection of Exterior Walls & Appurtenances. Must be accompanied by the Engineer and/or Architect's report.

EGRESS PATH SPECIAL ILLUMINATION (SPECIAL INSPECTOR ONLY)

TR7 Photo-luminescent Report. Use this form to certify compliance with the Photo-luminescent exit-path marking requirements of Section BC 1704.15 and 1 RCNY 1026.01 for high-rise buildings constructed pursuant to the 2008 Building Code.

ENERGY COMPLIANCE (SPECIAL OR ARCHITECT INSPECTOR ONLY)

TR8 Technical Report Statement of Responsibility for Energy Code Progress Inspections. (Form provided) See this page, ensuring the form is up to date). File this form with the TR1 upon completion of required inspections/tests for jobs in compliance with the NYCECC.

2 - REFERENCES to FORMS & INSTRUCTIONS, WHO CAN INSPECT & WHY

Inspection Forms TR1 and TR8 are shown here to inform Owner, Contractor, Inspector and Architect what items need inspections and/or tests (although other inspections may apply, like street trees, plumbing, electrical, tenant protection, etc.).

Items within these forms denoted with an 'X' note what components need to have a professional inspector present and approve the work before construction can proceed.

Use of these forms provided herein. While the instructions state 'this form must be typewritten' there is no reason not to copy the forms directly from this architectural set and sign/seal and submit as required.

They are provided here for convenience, coordination (of expeditor, contractor and inspector) and efficiency of the entire inspection process as well as to inform the building owner(s).

If this sheet is 24"x36", the forms should be 8.5"x11". Verify.

Who Can Perform Inspections:

A registered design professional (Architect or Engineer) with relevant experience may perform most inspections in connection with the construction or alteration of Occupancy Group R-3 buildings, three stories or less in height.

Additional qualifications are needed to perform Special Inspections in connection with excavation and foundation activities by a Licensed Special Inspector w/ a RA or PE qualifications (relevant training and approved inspection license).

Note that on all SimpleTwig projects, either an inspector as provided by New York City Department of Buildings, or a Special Inspector will perform all required inspections. This is because there is an inherent Conflict of Interest if the Architect acts as an inspector, putting himself between the needs of the Developer versus 'Contractor' versus the 'City'. In short, the Architect is the Owner's representative only, not the cities.

Further, it is a fundamental responsibility of the city to provide an unbiased inspector for every project to ensure full compliance with the law. Other inspections, such as plumbing, electrical, or structural can be decided by those who the city says is legally allowed to perform those inspections.

At SimpleTwig Architecture, we welcome inspectors to let us know for each and every case if there is something that is being built that does not meet code, and what needs to be done to correct the infraction. Inspections are a fundamentally important part of the construction process to ensure the public safety and to verify that the quality of construction work meets minimum standards, and thus, protects the building owner from potential liability as well as protecting their financial investment in the project.

TR1 PAGE 3

6 Owner's Statement and Signature for Progress/Special Inspector Required when inspection applicant identifies responsibilities.

I have reviewed the information provided herein and, to the best of my knowledge and belief, attest to its accuracy. I approve the identification of the responsible inspector. Failure of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by a fine or imprisonment, or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (print) Title Signature Date

7 Inspection Applicant's Identification of Responsibilities. Check all that apply below:

- For the special inspections indicated above in section 3, I assume the responsibility for conducting the inspections. I further assume the responsibility for conducting the inspections in connection with special inspections as well as 1 RCNY 101-06 Rule, which specifies the qualifications required for each inspection and that this agency meets those qualifications for each and every special inspection. I agree that both I and the agency will comply with all provisions of the New York City Construction Codes and 1 RCNY 101-06 Rule, which specifies the qualifications required for each inspection and that this agency meets those qualifications for each and every special inspection.

- For the progress inspections indicated above in section 3, I assume the responsibility for conducting the inspections in connection with progress inspections as well as 1 RCNY 101-07, which specifies the qualifications required for each progress inspection, and that this agency meets those qualifications for each and every progress inspection for which I/we take responsibility. I agree that both I and the agency will comply with all provisions of the New York City Construction Codes and the Rules. I am aware of the additional sanctions imposed on false filings by §28-211.1.2 of the Administrative Code.

Final Inspection: I will make final inspection of the construction project and certify that the construction project complies with the applicable provisions of the Administrative Code. I will perform the final inspection within 1 year from the date of the final of the work. Upon completion of the work and within 30 days of my final inspection, I will post a notice to the fact that all work was performed and completed in accordance with the approved construction documents, laws and rules, except as reported otherwise.

- I understand that my failure to file a certification of completion or to notify the Department of my withdrawal of responsibilities within one year from expiration of the last valid permit may result in the loss of my privileges to file under Directives 2 and 14 of 1975 or issuance of a violation, or both. I am aware of the additional sanctions imposed on false filings by §28-211.1.2 of the Administrative Code.

- Change of Applicant: I am a newly designated individual responsible for the items specified herein and I hereby state that: None of the inspections/tests indicated herein have been performed to date by the previously designated individual. Some of the inspections/tests indicated herein have been performed by the previously designated individual, as indicated in the attached report. I am aware of the additional sanctions imposed on false filings by §28-211.1.2 of the Administrative Code.

Name (please print) Signature Date P.E./R.A. Seal (apply seal, then sign and date over seal)

8 Inspection Applicant's Certification of Partial Completion. I have completed the items specified herein and certify that the all work performed substantially conforms to approved construction documents and has been performed in accordance with applicable provisions of the New York City Construction Codes and other designated rules and regulations, except as indicated in the attached report.

- Withdrawal of Applicant: I am withdrawing responsibility for the items of special/progress inspections and/or tests indicated herein and herewith submit the results or status of the work performed to date. I am aware of the additional sanctions imposed on false filings by §28-211.1.2 of the Administrative Code.

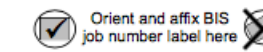
Name (please print) Signature Date P.E./R.A. Seal (apply seal, then sign and date over seal)

9 Inspection Applicant's Certification of Full Completion. All work performed substantially conforms to approved construction documents and has been performed in accordance with applicable provisions of the New York City Construction Codes and other designated rules and regulations.

Name (please print) Signature Date P.E./R.A. Seal (apply seal, then sign and date over seal)

TR1 12/2014

TR8: Technical Report Statement of Responsibility for Energy Code Progress Inspections



1 Location Information Required for all applications. House No(s) Street Name Work on Floor(s)

2 Applicant Information Required for all applications. Choose all that apply: Design Applicant 3A, 4 Progress Inspections Applicant 3B-D, 5-6

Last Name First Name Middle Initial Business Name Business Telephone Business Address Business Fax City State Zip Mobile Telephone License Type choose one: P.E. R.A. Other: License Number

3 Energy Code Progress Inspection Required for applications where Energy Code Compliance Progress Inspection is marked 'Yes on TR1'

Table with 4 columns: Identification of Requirement, Code/Section, Identification of Complete Inspections / Tests, Withdrawal Responsibilities. Rows include Protection of exposed foundation insulation, Insulation placement and R values, etc.

NOTE: EXPEDITOR SUBMITTED FORMS SUPERSEDES THESE FORMS TYPICAL

\* For column 3C, indicate date when the actual final inspection was performed.

12/14

TR8 PAGE 2

4 Design Applicant's Statements and Signatures P.E./R.A. responsible for plans must sign and seal.

I have identified herein all of the progress inspections, and commissioning required for compliance and determined whether commissioning is required.

Commissioning is required for applications where C408 or ASHRAE 90.1 Section 6.2.4 requires commissioning. Check one:

Name (please print) Signature Date P.E./R.A. Seal (apply seal, then sign and date over seal)

5 Inspection Applicant's Identification of Responsibilities. Check all that apply below:

- For the progress inspections indicated above in section 3 and identified by me for responsibility, I certify that I am the principal/director of the progress inspection agency accepting responsibility for conducting the inspections as identified in section 3B. I further certify that I have read the applicable sections of the New York City Construction Codes and 1 RCNY 500-01 in connection with progress inspections as well as 1 RCNY 101-07, which specifies the qualifications required for each progress inspector, and that this agency meets those qualifications for each and every progress inspection for which I/we take responsibility. I agree that both I and the agency will comply with all provisions of the New York City Construction Codes and the Rules. I am aware of the additional sanctions imposed on false filings by §28-211.1.2 of the Administrative Code.

- Change of Applicant: I am a newly designated individual responsible for the items specified herein and I hereby state that: None of the inspections/tests indicated herein have been performed to date by the previously designated individual. Some of the inspections/tests indicated herein have been performed by the previously designated individual, as indicated in the attached report. I am aware of the additional sanctions imposed on false filings by §28-211.1.2 of the Administrative Code.

Name (please print) Signature Date P.E./R.A. Seal (apply seal, then sign and date over seal)

6 Inspection Applicant's Certification of Completion. I have completed the items specified herein and certify the following (check one only): All work performed substantially conforms to approved construction documents and has been performed in accordance with applicable provisions of the New York City Energy Conservation Code and other designated rules and regulations.

- Withdrawal of Applicant: I am withdrawing responsibility for the items of progress inspections and/or tests indicated herein and herewith submit the results or status of the work performed to date. I am aware of the additional sanctions imposed on false filings by §28-211.1.2 of the Administrative Code.

Name (please print) Signature Date P.E./R.A. Seal (apply seal, then sign and date over seal)

12/14

3 - 'TR8' ENERGY CODE PROGRESS INSPECTIONS



PROJECT NAME

PROJECT LOCATION

CLIENT CONTACT INFORMATION

PROJECT TEAM

ARCHITECT & ARCHITECTURAL FIRM SimpleTwig - Architecture, LLC

Architect: Nicholas Buccalo, Architect info@SimpleTwig.com 716-488-7894 526 Prospect Avenue Brooklyn, NY 11215 www.SimpleTwig.com

FILING REPRESENTATIVE

CONSULTANTS - ENGINEERS

Table with 2 columns: DATE, DESCRIPTION. Rows include Aug 20, 2017 SUBMISSION TO DOB, PROJECT START; REVISION 1 (xxx.01); REVISION 2 (xxx.02); REVISION 3 (xxx.03); REVISION 4 (xxx.04)

Inspections Special Inspections & Notes TR1 & TR8 Progress Inspections

PROFESSIONAL SEAL / SIGNATURE DRAWING SCALE 3/8" = 1'-0" DRAWN BY / CHECKED BY NB/NB SHEET NUMBER A-021.00 PAGE 21 OF 22 PAGES

1 - 'TR1' REQUIRED INSPECTIONS and/or TESTS, PROGRESS INSPECTIONS FORM TR1



REScheck Software Version 5.5.0 Inspection Checklist

Energy Code: 2016 New York City Energy Conservation Code Requirements: 100.0% were addressed directly in the REScheck software

Table with columns: Section # & Req.ID, Pre-Inspection/Plan Review, Complies?, Comments/Assumptions. Includes rows for High Impact (Tier 1), Medium Impact (Tier 2), and High Impact (Tier 1) items.

Generated by REScheck-Web Software Compliance Certificate

Project: Mcenemy Addition. Energy Code: 2016 New York City Energy Conservation Code. Location: New York, New York. Construction Type: Single-Family Addition.

Compliance: Passes using UA trade-off. Compliance: 0.0% Better Than Code. Maximum UA: 24. Your UA: 24. Maximum SHGC: 0.40. Your SHGC: 0.32.

Envelope Assemblies table with columns: Assembly, Gross Area or Perimeter, Cavity R-Value, Cont. R-Value, U-Factor, UA. Lists various wall, window, door, and ceiling assemblies.

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application.

Name - Title Signature Date. Nicholas Buccalo, Architect Aug. 20, 2017.

Project Notes: PROJECT: 5'-4" x 10'-8" Addition (half-bath & mudroom), new French Doors/Sidelights, new Upper/Lower Patio (new hatch/ light well), and new fencing.

2 - COMPLIANCE CERTIFICATE. Photocopy this upon completion of construction, post in Main Electric Panel Room. Must be signed by Architect.

Table with columns: Section # & Req.ID, Final Inspection Provisions, Plans Verified Value, Field Verified Value, Complies?, Comments/Assumptions. Includes rows for High Impact (Tier 1), Medium Impact (Tier 2), and High Impact (Tier 1) items.

2016 New York City Energy Conservation Code Energy Efficiency Certificate

Table with columns: Insulation Rating, R-Value, Glass & Door Rating, U-Factor, SHGC, Heating & Cooling Equipment, Efficiency. Lists ratings for Above-Grade Wall, Below-Grade Wall, Floor, Ceiling / Roof, Ductwork, Window, Door, Heating System, Cooling System, Water Heater.

4 - CERTIFICATE

Energy Compliance Acknowledgement: The required Acknowledgement is signed on the Title Page of this set. NOTE: All values noted (and listed) on this page are hereinafter considered a required part of this Construction Document set and thus must be applied by the Home Owner, Contractor and/or Sub-Contractor(s).

5 - ACKNOWLEDGEMENT & NOTES

MINIMUM INSULATION REQUIREMENTS for Kings County, NY. Climate Zone 4 as per Table R402.1.2 U.N.O. NOTE: INSTALLATION OF INSULATION SHALL BE DONE AFTER ALL PLUMBING AND STRUCTURAL STEEL WORK IS COMPLETED. WALL R-Value R19 min. FLOOR R-Value R30 min. CRAWLSPACE Wall R-Value R15 min.



PROJECT NAME, PROJECT LOCATION, CLIENT CONTACT INFORMATION, PROJECT TEAM. Lists Nicholas Buccalo, Architect and SimpleTwig - Architectural Firm.

Home Owner to Display a copy of this certificate at Electrical Panel upon completion of the construction, to be signed by Architect, Engineer or qualified Builder.

Table with columns: DATE, DESCRIPTION. Includes entries for Aug 20, 2017, REVISION 1 (xxx.01) through REVISION 4 (xxx.04).

Table with columns: DATE, DESCRIPTION. Includes entries for Aug 20, 2017, REVISION 1 (xxx.01) through REVISION 4 (xxx.04).

Table with columns: DATE, DESCRIPTION. Includes entries for Aug 20, 2017, REVISION 1 (xxx.01) through REVISION 4 (xxx.04).

Energy Conservation Code Compliance Calculations. Energy Efficiency Certificate. 3/8" x 1'-0" DRAWN BY CHECKED BY NB/NB. A-022.00

BIND THIS SIDE

DEPARTMENT OF BUILDINGS