

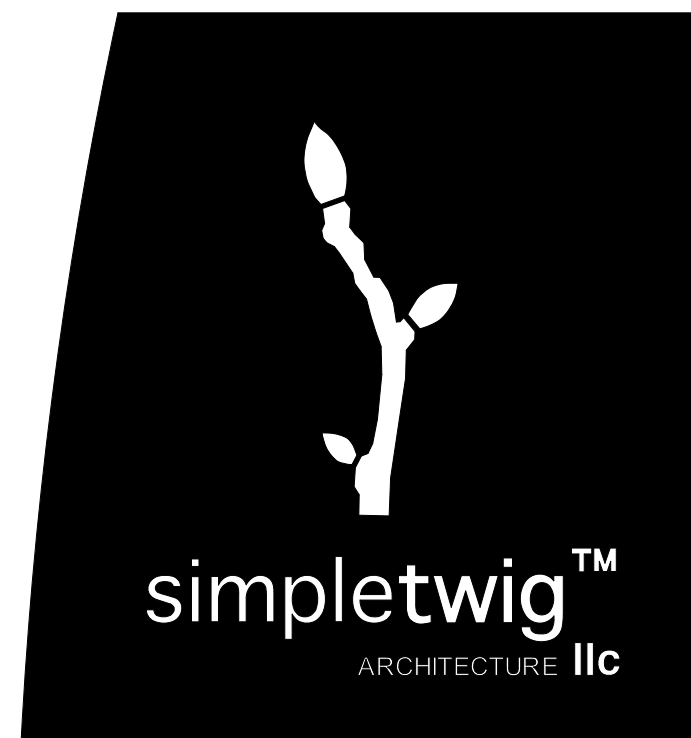
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PROJECT NAME
PROJECT LOCATION
OWNER

PROJECT TEAM	
ARCHITECT	
SimpleTwig Architecture.Llc Nic Buccalo, Architect 718-488-7894 526 Prospect Avenue info@SimpleTwig.com Brooklyn, NY 11215 www.SimpleTwig.com <small>every nest starts with a simple twig... NY License: 024197</small>	
FILING REPRESENTATIVE	
CONSULTANTS	
Date	Description
Dec. 18, 2017	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE	
PROFESSIONAL SEAL / SIGNATURE	DRAWING SCALE
	DRAWN BY / CHECKED BY
	SHEET NUMBER
PAGE	OF PAGES

BIND THIS SIDE

DEPARTMENT OF BUILDINGS

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RENOVATION

NYC Department of Buildings Property Profile Overview

Community Board : 302 Condo : NO
Vacant : YES

Cross Street(s): FLUSHING AVENUE, PARK AVENUE

DOB Special Place Name:

DOB Building Remarks:

Landmark Status:

Special Status: N/A

Local Law: NO

Loft Law: NO

SRO Restricted: NO

TA Restricted: NO

UB Restricted: NO

Environmental Restrictions: N/A

Grandfathered Sign: NO

Legal Adult Use: NO

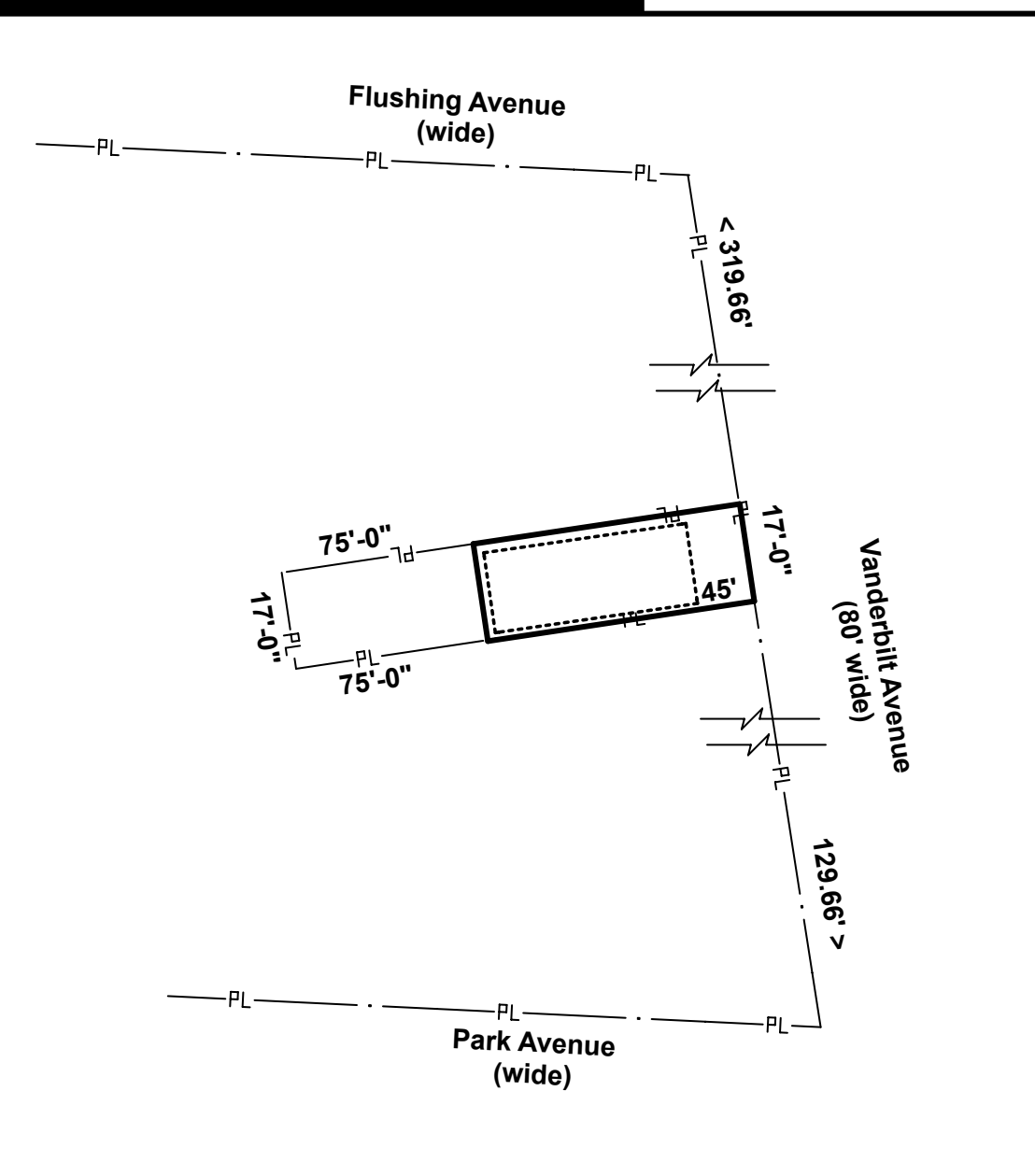
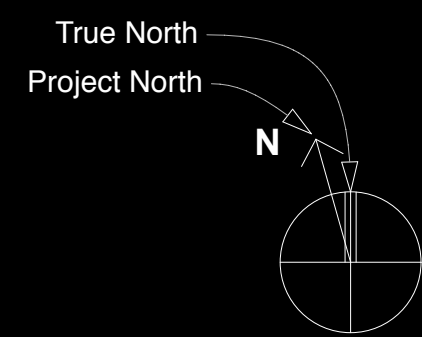
City Owned: NO

Additional BINs for Building: NONE

Special District: UNKNOWN

This property is not located in an area that may be affected by Tidal Wetlands, Freshwater Wetlands, Coastal Erosion Hazard Area, or Special Flood Hazard Area. [Click here for more information](#)

Department of Finance Building Classification: A5-1 FAMILY DWELLING



1 - Location/Site Plan - NTS

Discipline - Order #	DOB Page Number	Page Title	Sheet Description
01	T-001.00	Cover Page:	Table of Contents, Location Plan, Zoning, DOB Notes, Scope of Work, ECC.
02	T-002.00	Legends:	Misc. Notes, Abbreviations, and Legends.
03	A-001.00	Code & Protection	Code Compliance Notes, Fire-Protection, HC, Egress, Occupancy
04	A-002.00	Requirements	Inspections, Fire-Rated Sections, Smoke & Co2 Detectors, Notes
05	A-003.00	Safety & Protection	Tenant Protection Plan, Pest, Mold, Lead, Maintenance, Grills, Safety
06	G-100.00	Construction	General Construction Notes, Materials, Finishes & Specifications
07	EX-100.00	Existing	3rd Floor & Roof Plan - Existing Conditions (reference)
08	EX-101.00	Existing	Existing Section Conditions (reference)
09	DM-100.00	Existing/Demo	3rd Floor Plan & Roof Floor Plan
10	A-100.00	New/Proposed	Third Floor Plan - Roof Floor Plan
11	A-300.00	Sect./Plan Details	Detail Stair Floor Plan, Sections, Elevations and Details
12	A-400.00	Ext'ng/Proposed	Existing and New Cross-Section Details at OLD/NEW Hatch Locations
13	S-100.00	Structural	Third Floor Plan - Roof Floor Plan
14	S-101.00	Structural	Reference of original Joist Details and Connections, Misc.
15	E-100.00	Electrical	Third Floor Plan - Roof Floor Plan

2 - TABLE OF CONTENTS - Project Drawing Page Numbers and Titles

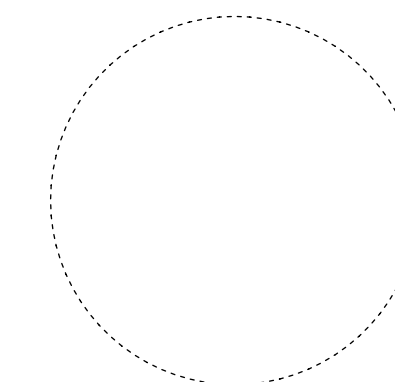
ADMINISTRATION

- All Construction Work including Labor, Assemblies, Materials and Equipments shall conform to the latest Standard Building Codes as it is applicable.
- The Contractor shall verify all dimensions and conditions at the site and within the project area and notify the Architect of any discrepancy.
- The 'plans' are subject to approval by all authorities having jurisdiction.
- The Contractor shall obtain and pay for, all required permits, and arrange for and schedule, at their expense all required tests and inspections of materials, assemblies or equipment.
- Contractor(s) are to obtain and maintain insurance coverage as required by law and as stipulated by the Owner.
- SCALE: Always use Dimensions notes on plans, sections, elevations, details and diagrams. Do NOT scale from the drawings typical.
- All materials installed shall be new, and materials or assemblies shall conform to the indicated standards of the several testing and standard-setting agencies specified by law, code or herein.
- The Manufacturer's Standard Specifications of items and materials approved for this projects' use are hereby made part of these notes with the same force and effect as though written herein in full.
- The work shall comply with all codes, rules, regulations and ordinances in force and effect throughout the project, except that where the drawings or specifications call for more exacting standards of labor and/or materials, the more stringent and/or effective requirements shall govern.
- Materials, Assemblies, Service Equipment and Methods of Construction subject to approval under the provisions of the Building Code can qualify for such approval under one of the following methods of acceptance, as per Section C26-206.2. A) Test Report showing compliance with the requirements of a Code Prescribed Test, B) Acceptability under the New York City Building Code, C) Approval by the New York City Board of Standards and Appeals, or, D) Materials and Acceptance Division of the Department of Buildings.
- Natural Ventilation to comply with Sub-Article C26-1205.6.
- All Interior Toilets (in rooms without windows) shall be Mechanically Ventilated in Accordance with Section C26-1207.3 of the Building Code.
- Wood required to be Fire Resistant and/or Treated shall be tested in accordance with RS 5-3 and RS 5-4.
- Room Finishes to conform to Table 5-4.
- All work to be Guaranteed for one year after Final Approval. The General Contractor shall sign the written Guarantee as required by Owner. This Guarantee shall cover all General Contractors and Sub-Contractors work. All defects discovered during the Guarantee Period shall be repaired to the Owner's satisfaction, at the Contractors expense.
- Upon completion of all work, the Contractor shall furnish Owner with Approvals, Sign-Offs, Completion Certificate Warrantees, Guarantees, Waivers of Liens, etc.
- Upon completion of all work, the Contractor shall furnish and mount in the Mechanical Room or Utility Room all required ECC (Energy Conservation Code) documents, Certificates and Equipment Literature obtaining inspections and signatures as required.
- The Building Owner shall be responsible for the safe maintenance of the building and its facilities before, during and after construction.
- The Contractor and all Sub-Contractors including all workers shall abide by the Safety Rules herein, and by Local, State and Federal Safety Guidelines including OSHA Standards for Work Place Safety. The General Contractor shall make known to all workers the Safety Notes herein and provide them with time to read, comprehend and acknowledge these Safety Notes, and with their help employ all guidelines to ensure a safe working environment at all times. When needed the General Contractor will provide a translator.
- The Notes herein shall govern all work shown and specified, and form a part of the Contract Documents.

3 - DOB NOTES

Energy Compliance Acknowledgement:

To the best of my knowledge, belief and professional judgement, these plans and specifications are in compliance with NYCECC.



Signed/Stamped by Architect or qualified representative

4 - ECC ACKNOWLEDGEMENT

The GC, whether a General Contractor or acting Homeowner shall have licensed Contractors perform work as required by code. Licensed Contractors are to perform work to meet code in all circumstances. Any work that is installed that doesn't meet code must be removed, replaced or supplemented with work that meets code. It is important to review items required by the project before initiating work in order to avoid costly mistakes to ensure it meets code on the first installation.

PLUMBING CONTRACTOR (also see Plumbing Dwg(s) if applicable):

- All Plumbing works shall be performed by a licensed plumbing contractor for perform work in NYC and the State of New York, or which ever governs, and shall conform to the Standard Plumbing Code, Local Codes, the latest amendments and authorities having jurisdiction over the work in the municipality the project is located in.
- The sizing, materials, distribution and connections of water main, individual branch supply water pipes, house sewer, individual waste, vent and soil lines, vertical leader and horizontal storm drains shall be in accordance with the Standard Plumbing Code as indicated on the Plumbing Diagram herein.
- Laundry facilities shall be in accordance with the Standard Plumbing Code including required Sub-zone for waste water piping.
- Refer to the Plumbing Page within this set for additional notes and diagrams including for Gas Piping.
- The Plumbing Contractor is responsible for filing of forms, applications and all required inspections to close out the plumbing aspect of the project legally, as required by the NYC Department of Buildings (DOB).

ELECTRICAL CONTRACTOR (also see Plumbing/Construction Dwg(s) for additional Notes):

- All Electrical work shall be performed by a licensed Electrical Contractor having jurisdiction over the work in the municipality where the project is located, thus licensed to perform work in NYC within the State of New York for projects in the City of New York, and shall comply with the latest edition of the National Electrical Code, Applicable State and Local Codes, Latest Amendments and Authorities having jurisdiction, and file all work separately.
- See Detail 1, E-100.00 Electrical Sheet for additional notes.

5 - REQUIRED LICENSED SUB-CONTRACTORS

2015 and certified with a new w/ stair and new hatch, plus

Zoned = R8, C2-4
Lot = 17' x 75' = 1275 SF.
Building Class: One Family Dwellings - Attached or Semi-Detached (A5).

Number of Buildings: 1 Building
Existing - No Change

Building Footprint: 17' x 45' = 765 SF per floor (60% lot coverage).
Existing - No Change

Number of Floors: 3
Existing - No Change

Gross Floor Area: 2,295 SF
Existing - No Change

Number of Dwellings: 1 (Single Family)
Existing - No Change

Open Space: 17' x 30' = 510 SF (40% lot coverage).
Existing - No Change

Building Height: To remain as is.
Existing - No Change

Parking: Not Required.
No Change

Street Trees: Not Required for this scope of work.
No Change

Zola Info: <https://zola.planning.nyc.gov/lot/3/2033/45#19.32/40.69681/-73.97073>

Zoning Use Group=2 (as noted on the new CoFo); Building Occupancy Use Group=R-3. This 'note' is required as per BB-2018-002 (Building Bulletin) to be on the Construction Documents and is thus duly noted.

6 - ZONING

This project consists of the replacement of a ladder/hatch with a stair/larger hatch to the roof, and, minor non-loading partition work on the 3rd floor in a Single Family Townhouse.

Repositioning of light fixtures and/or Smoke/Co2 Detectors as required to meet code.

No change in egress; no increase, mass, building envelope or number of dwellings.

No work on Basement, 1st, 2nd Floors.

No Gas and no Plumbing Work.

No Meter or Utility Work.

No Mechanical work including no heating, no cooling or other environmental control work.

No modification of primary structure which includes footings, foundation and primary bearing walls.

No change in Thermal Envelope including Insulation.

No change in internal Lighting or electrical demand. No external Lighting.

7 - SCOPE OF WORK

GENERAL NOTES:

- The accompanying drawings and subsequent notes are in conformance with basic requirements of New York City Building Code and Zoning Resolution, and, all applicable laws and building ordinances.
- All information and data furnished by the Owner has been instrumental in preparing this work.
- SimpleTwig Architecture, LLC, the Architect and/or its representatives are not retained for the supervision of actual construction and shall not have responsibility, control or change of any Construction including the Means, Methods, Deviations, Techniques, Sequences, Procedures, Safety Precautions and/or Programs in connection with the Construction Work, or for the acts or omissions of the Contractor, Sub-Contractor(s), General Contractor, Construction Supervisor(s), Safety Inspectors, Special Inspectors or any other persons performing any of the work in accordance with the Contract Documents.
- The Architect and his representatives including the Filing Representative (expeditor) filing application with the Department of Buildings for this project is not retained to supervise construction or to perform any inspection required by the New York City Building Code unless otherwise specifically provided in Letter of Agreement and in Application Filed. In cases where inspections are required, if not performed by the DOB, the Owner shall hire a 'Special Inspector'.
- Site Visits by the Architect are intended to provide the Owner with a professional opinion as to the quality of construction and scheduling, or to identify any potential problem, or to help the Contractor(s) interpret the DOB Approved Drawings.
- Required Inspections are to be performed by the NYC Department of Buildings (DOB), and/or a 'Special Inspector' or in certain circumstances by the Architect. Because inspections performed by the Architect would create a 'Conflict of Interest' it is hereby noted that the Architect requests that all inspections be performed by a Special Inspector who is licensed to perform all inspections required by the DOB.
- These drawings, as 'Instruments of Service' are and shall remain the property of the Architect, whether or not the project for which they were made is executed.

8 - ARCHITECT/DWG ACKNOWLEDGEMENT

PROJECT NAME

PROJECT LOCATION

OWNER

PROJECT TEAM

ARCHITECT
SimpleTwig Architecture, LLC
Nic Buccalo, Architect 718-488-7894
526 Prospect Avenue info@simpletwig.com
Brooklyn, NY 11215 www.SimpleTwig.com
every nest starts with a simple twig...

FILING REPRESENTATIVE

CONSULTANTS

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE

Cover Page

TOC, Location Plan, Zoning, DOB Notes, Scope-Work, ECC

PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE
3/8" = 1'-0"

DRAWN BY / CHECKED BY
NB/NB

SHEET NUMBER
T-001.00

PAGE 01 OF 15 PAGES

BIND THIS SIDE

DEPARTMENT OF BUILDINGS

NOTE: Line weights used are relative to the scale of the drawing, but in general 4 line weights are chosen for each scale/dwg as represented below.

- Lightest Weight Line: Reference Line
- Regular Line: Line representing an object.
- Cut Line: Line cut through an object.
- Profile Line: Special outline line, around an entire bldg.

Actual line and relative thicknesses used. Color references for consultants only.

Pen 1	Pt. 0.55-orange	Reference Line
Pen 2	Pt. 1.00-dark yellow-green	Line
Pen 3	Pt. 1.50-green	Line or Profile Line
Pen 4	Pt. 2.25-blue-green	Profile Line or Cut Line
Pen 5	Pt. 3.00-blue	Profile Line or Cut Line
Pen 6	Pt. 4.13-black	Cut Line
Pen 7	Pt. 5.25-black	Cut Line
Pen 8	Pt. 7.50-grey	Cut Line
Pen 9	Pt. 10.0-grey	Special Line
Pen 10	Pt. 1.50-red	General Arch. Ref. Line

General Line Types	Symbolic Line Types
All line types can have their meaning modified by the chosen line thickness. For instance, a thin line might indicate a physical object while a thick solid line might indicate a profile or the cut plane of the drawing.	Specialty line types show the interaction of specific, usually objects while a thick solid line might indicate a profile or the cut plane of the drawing. Line Characteristics: The 'space' is the same length as the line.

ID	Ref. Name	Description
1	Solid Line	2 Hour Fire-rated Assembly
2	DashABOVE-1	Bearing Wall Assembly
3	DashABOVE-2	Property Line (PL)
4	DashBELOW-3	Centerline (CL)
5	DashBELOW-4	ZigZag
6	Dash-5 (long)	Cutline (at Stairs, etc.)
7	Dot-1	X-Line (fence, railing, NTS)
8	Dot-2	Square Line (fence-wood)
9	Dash-Dot-Dot	Miscellaneous

1 - LINE TYPE & STYLE LEGEND

Used Revision Marker: Corresponds to Revision Date in Title Block. Revision 'left behind' from a previous revision set.

New Revision Marker: Corresponds to Revision Date in Title Block. Connected to cloud to indicate a change/revision from a previous set.

Window/Door Indicator: Numbered in sequence, starting with floor indicator. C=cellar, B=basement, 1=1st floor, etc. Example 1-3 is the 3rd door on the 1st floor.

Building and/or Unit Entrance:

Match Line Symbol: Used when a drawing does not fit on a page and has to be split, the match line allows for alignment.

Scale Symbol (or similar, see below)

Handicap Indicator: Used on parking spaces, signs, etc. indicates Handicap accessibility meeting ADA guidelines.

Wall Type Indicator: Refer to 'Wall Types' page chart if provided. 'C' indicates columns, '4' indicates horizontal rows on chart.

Elevation 0'-0" (Indicator)

North Symbol

Typical Scale Bar
Note that items drawn on this page (lines, fills, etc.) are to scale based on this scale bar.

2 - DRAWING REFERENCE SYMBOLS

Electrical Symbols:

- Switch - New or Relocated as Required. Single, Double.
- Switch - Existing. No change required. Single, Double.
- Outlet - New or Relocated as Required. Single, Double, Triplex, Quad.
- Outlet - Existing. No change required. Single, Double, Triplex, Quad.
- Light Fixture - New or Relocated as Noted. Connections to switches and/or other light(s) as req'd, see plans. Must be UL approved.
- Light Fixture - Existing. No change required except connections to switches and/or other light(s). Confirm UL rated and fixture is functioning properly.
- Recessed Downlight - New Recessed Light Fixture.
- Wall Sconce - New Light Fixture.
- Bathroom Vent - 40 cubic feet / minute flow UNO. Exhaust directly to exterior typ. In full bathrooms w/ tub/shower, use moisture resistant unit and duct.

Power and Meters

- Circuit Breaker Panel: location as noted on plan.
- Electric Meter
- Gas Meter

Misc., Communication and Service

- Telephone - Existing or New. Size and Location as noted on plan.
- Cable Ready Junction Box: (provide full junction box) and co-axial Connector. Connect to coaxial cable, one cable per junction box (no daisy chain) to Basement/Cellar Floor Mechanical Room Wall Mounted Box to serve each apartment. See Additional Notes on Specifications page, Detail 3.
- Thermostat: location to remain or adjust as required.

VENTS & DUCT Symbols:

- Bathroom/Closet Exhaust Vent - 40 cfm minimum exhaust to exterior.
- Bathroom/Closet Exhaust Vent & Light Combination - 40 cfm minimum exhaust to exterior.
- 2 Hour Rated Stainless Steel Duct - See Specification Notes, Double Walled typ.
- Round Duct - Toned is Vertical Duct. No tone with dashed lines is horizontal reference symbol. See 1, Line Types for example of horizontal.

HVAC Symbols:

- Ceiling Fan - Existing or New. Size and Location as noted on plan. May or may not have fill on blades/motor.
- Air Conditioner - Represents either the entire unit, or part of a system as in the condenser only. See plan for notes and clarification.
- Radiator - Existing or New. Size and Location as noted on plan.
- Forced Air Heating/Cooling System - Existing or New, Heat Pump Type.
- Boiler or Furnace Heating System - Existing or New. Either Natural Gas or Oil Fuel.
- Hot Water Tank - Existing or New. Size and Location as noted on plan.
- Instant Hot Water Tank - Existing or New. Size and Location as noted on plan.
- 3D Model Symbol
- 2D Graphic Symbol
- Small Condenser Unit - Existing or New.
- Medium Sized Condenser Unit - Existing or New. ±2'-6" high UNO.
- Large HVAC Unit - Existing or New.

3 - ELECTRIC & HVAC RELATED SYMBOLS

Column Line Indicator: Numbers in one direction, letters used in other direction.

Detail Designation Indicator

Detail Section Designation Indicator

Elevation Designation Indicator

General Section/Elevation Designation Indicator

SITE/LANDSCAPE CONTOUR ELEVATION INDICATORS

- Existing Point Elevation (Plan)
- New Point Elevation (Plan)
- Existing Contour Elevation (Plan)
- New Contour Elevation (Plan)

NOTATION INDICATORS: Other indicators may be present on the plans.

- General Note
- Important Note (bold)
- Special Note or Architect's Explanation
- Indicated Component
- Special Note
- Special Note
- Elevation
- Floor Drain (FD) or Area Drain (AD)
- Light Fixture Type: LED, Hal, Incad, etc.
- Reference to Detail/Page
- Stair UP/DN
- Stair UP/DN

6 - FIRE SYMBOLS

EXISTING

General Wall Types as indicated on Existing and/or Demo Floor Plans.

- Existing walls to remain-No Fill
- Existing walls for Demo-100% Fill
- Existing Masonry to Remain, FireProof Construction. Masonry is indicated with a 45° angle hatch.

WALL MODIFIERS

- 2 Hr Fire Rated Stud Wall Indicator (CL of noted wall): This indicator line type will appear at the center line of any wall type that is 2 Hr. Rated.
- 2Hr and/or Bearing Wall Stud Wall Indicator (CL of noted wall): This indicator line type will appear at the center line of any wall type that represents a bearing wall.

See Wall Types page, if provided, in this set for complete legend of specific Wall Types, details and notes.

4 - WALL TYPE LEGEND

CUT (Plan/Section) MATERIALS

- Brick
- Block-CMU
- Terra Cotta and/or Fire Brick
- Concrete Lightweight
- Concrete Structural
- Cut Stone/Stucco
- Carpet/Fabric
- Plaster/GWB
- Rigid Insulation or Tile depending on scale.
- Earth
- Grass/Planting Bed
- Wood
- Plywood
- Steel
- Aluminum
- Brass/Bronze/Copper
- Subway Grate/Stack Pattern
- 25% Tone: Appliances, Cabinets, Fixtures, Equipment

GRAPHIC INDICATORS

- Total Sq. Footage (Plan Only)
- Dot & Dash (Material as Noted)
- Dash (Material as Noted)
- Triangles (Material as Noted)
- Triangle Mesh (Material as Noted)

FACE OF MATERIAL-Elevation

- Brick-Common Bond
- Brick-English Bond
- Brick-Flemish Bond
- Brick, Block, Tile-Stacked Bond
- Brick-Herringbone on Edge
- Brick-Herringbone
- Block-Running Bond

FACE OF MATERIAL-Plan

- Tile: VCT, Natural or Ceramic
- Wood Flooring or Siding
- Roofing Tile: Asphalt
- Tile: Decorative Pattern, confirm actual pattern with notes/spec/sample or link.

5 - FILL TYPES

EMERGENCY / FIRE DETECTION Symbols:

- Smoke Detector & CO2 Detector Combo: Hardwired with battery backup. See Detail 7 this page for additional information.
- Emergency Exit sign and LED Lighting: See signage page for specifics.
- Fire Alarm Pull: Interior Wall Mounted.
- Alarm Siren: Interior Wall Mounted.
- Fire Hydrant: Exterior only.
- Fire Extinguisher: Individual Unit only.
- Fire Extinguisher Cab.: Recessed Cab.
- Siamese Connection: Wall Mounted.
- Stand Pipe: Interior Use.
- Hose Swing Rack: Wall Mounted.
- Hose Fire Cabinet: Wall Recessed.
- Hose Reel Rack: Wall Mounted.

6 - FIRE SYMBOLS

NOTE: This Legend for Wall Types is superseded if the Wall Types Chart sheet(s) are included within this set. Verify Table Of Contents for confirmation.

- 1st Number = Fire Rating
- 2nd Number = Stud Type, a = 7/8" furring, b = 2x3, c = 2x4, d = 2x6
- 3rd Number = Insulation (2 & 4) or not (1 & 3).

WALL CONSTRUCTION TYPE SYMBOLS; For GWB Only EXTERIOR

- 2x6 Metal Stud (Stud-Rite Non Bearing) @ 16" O.C., 5/8" GWB, One Side.
- 2x4 Metal Stud (Stud-Rite Non Bearing) @ 16" O.C., 5/8" GWB, Two Sides.

INTERIOR

- 7/8" Metal Furring @ 16" O.C., 5/8" GWB, One Side. Wall and/or Ceiling.
- 2x3 Metal Stud (Stud-Rite Non Bearing) @ 16" O.C., 5/8" GWB, Two Sides.
- 2x6 Metal Stud (Stud-Rite Non Bearing) @ 16" O.C., 5/8" GWB, One Side.

7 - WALL TYPES

- ACST = Acoustical
- ABV = Above
- ADH = Adhesive
- ADJ = Adjustable
- APP = Applicable
- APT = Apartment
- APPROX = Approximate
- BLDG = Building
- BLKC = Blocking
- BLT-IN = Built-In
- BM = Beam
- CAB = Cabinet
- CLG = Ceiling
- CL = Center Line
- CLST = Closet
- CLR = Clear
- CONC = Concrete
- CMU = Concrete Masonry Unit
- CT = Ceramic Tile
- D = Door
- DEMO = Demolition
- DIA = Diameter
- DIM = Dimension
- DS = Downspout
- DOB = NYC Department of Buildings
- DWR = Drawer
- DW = Dishwasher
- EA = Each
- ELEC = Electrical
- Elev = Elevation
- EQ = Equal
- EQUIP = Equipment
- EST = Estimate
- E.W. = Each Way
- EXT'G = Existing

- PLYWD = Plywood
- PL = Property Line
- PRELIM = Preliminary
- PT = Pressure Treated (Lumber)
- RA = Registered Architect
- REV = Revision
- RM = Room
- R.O. = Rough Opening (or RO)
- REQ'D = Required
- SF = Square Feet (or S.F. or Sq.Ft.)
- SOV = Shut Off Valve (or S.O.V.)
- SST = Stainless Steel
- STOR = Storage
- T&G = Tongue & Groove
- TEL = Telephone
- TOB = Top of Beam
- TOC = Top of Curb
- TOS = Top of Slab
- TOW = Top of Wall
- TYP = Typical
- UNO = Unless Noted Otherwise
- VIF = Verify in Field (or V.I.F.)
- VCT = Vinyl Composition Tile
- W = Window
- W/ = With
- WC = Water Closet (Toilet)
- WID = Washer / Dryer

Acronym Glossary

- Work Type Acronyms: BL: Boiler, CC: Curb Cut, CH: Chute, DM: Demolition and Removal, EQ: Construction Equipment, EW: Equipment Work, FA: Fire Alarm, FB: Fuel Burning, FN: Fence, FP: Fire Suppression, FS: Fuel Storage, MH: Mechanical/HVAC, OT: Other, PL: Plumbing, SD: Standpipe, SF: Scaffold, SG: Sign, SP: Sprinkler
- Legal Acronyms: AC: Administrative Code, APPN: Admin Policy & Procedure Notice, BC: Building Code, HPD: Housing Preservation & Development, LL: Local Law, LPPN: Legal Policy and Procedures Notice, MDL: Multiple Dwelling Law, NYC DEP: NYC Dept of Environmental Protection, NYC RR: NYC Report Recommendations, NYS DOH: New York State Department of Health, NYS ECL: NYS Environmental Conservation Law, OPPN: Operations Policy & Procedure Notice, PPN: Policy and Procedure Notice, RCNY: Rules of the City of New York, RS: Reference Standard, TPPN: Technical Policy and Procedure Notice, ZR: Zoning Regulations (or 'Resolution')
- Permit Type Acronyms: AR: Architectural, EA: Earthwork, FO: Foundation, ME: Mechanical, NP: No Plans, PL: Plumbing, SH: Sidewalk Shed, ST: Structural, ZO: Zoning
- Building Type Acronyms: NB: New Building, Alt 1: Alteration, Alt 2: Alteration, Alt 3: Alteration
- Professional Acronyms: PE: Professional Engineer, RA: Registered Architect, GC: General Contractor

8 - ABBREVIATIONS

GENERAL ROOM NAME NOTATIONS

Room Name with NO Room Number: On small projects, it is common practice to just state the room name without an association number. This is the case when schedules for doors, windows, finishes, etc. are not part of the document set.

GENERAL ROOM NAME/NUMBER NOTATION

Room Name Room Number: The first number represents the floor level, in this case 1st floor. The remaining numbers represent which room on that floor.

FINISH ROOM NAME/NUMBER NOTATION

Room Name Room Number Finish Number: The first number (of 105) represents the floor level, in this case 1st floor. The remaining numbers represent which room on that floor. Finish Number: This corresponds to either the 'floor' (F), 'wall' (W) or 'ceiling' (C) in the chart below, the number indicating which finish is to be applied to the surface indicated.

INTERIOR FINISH SCHEDULE

FLOOR	WALL	CEILING
F1 Natural Wood Plank	W1 Eggshell Paint	C1 Eggshell Paint
F2 Engineered Wood	W2 Semi-Gloss Paint	C2 Water Resistant Paint
F3 Porcelain Tile	W3 Rust Inhibitor Paint	C3 Acoustical Tile
F4 Ceramic Tile	W4 Tile & Paint	
F5 VCT Tile	W5 Stone & Paint	
F6 Concrete Slab		

EX = Existing Finish to Remain

9 - ROOM INDICATORS/NOTATION LEGEND

area intentionally left blank

simpletwig™
ARCHITECTURE llc

PROJECT NAME

PROJECT LOCATION

OWNER

PROJECT TEAM

ARCHITECT
SimpleTwig Architecture llc
Nic Buccalo, Architect 718-488-7894
526 Prospect Avenue info@simpletwig.com
Brooklyn, NY 11215 www.SimpleTwig.com
every nest starts with a simple twig...

FILING REPRESENTATIVE

CONSULTANTS

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE

Legends

Misc. Notes, Abbreviations, and Legends

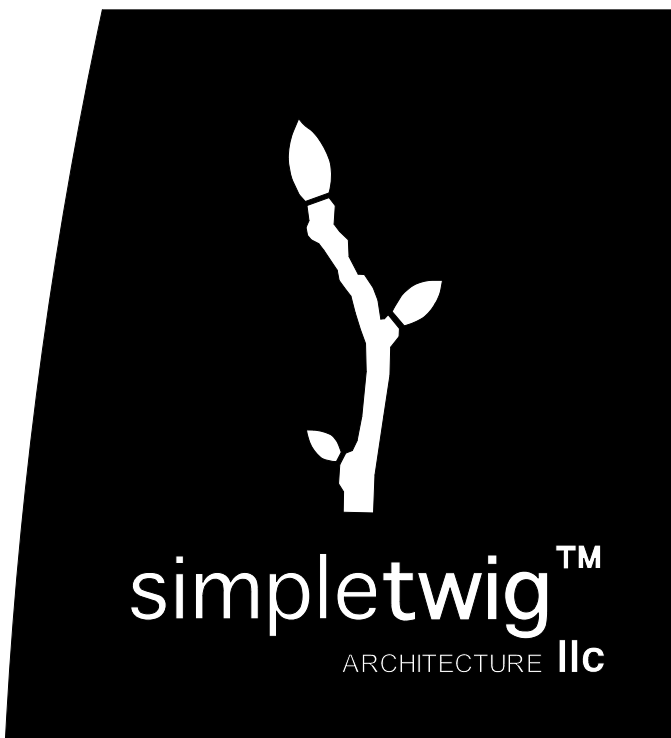
PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE
3/16" = 1'-0"

DRAWN BY / CHECKED BY
NB/NB

SHEET NUMBER
T-002.00

PAGE 02 OF 15 PAGES



PROJECT NAME

PROJECT LOCATION

OWNER

PROJECT TEAM

ARCHITECT
 SimpleTwig Architecture, LLC
 Nic Buccalo, Architect 718-488-7894
 526 Prospect Avenue info@simpletwig.com
 Brooklyn, NY 11215 www.SimpleTwig.com
every nest starts with a simple twig...

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	Revision 1 (xxx.01)
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	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

Building Code
 Code Compliance Notes, Fire-Protection, HC, Egress, Occupancy,

PROFESSIONAL SEAL / SIGNATURE

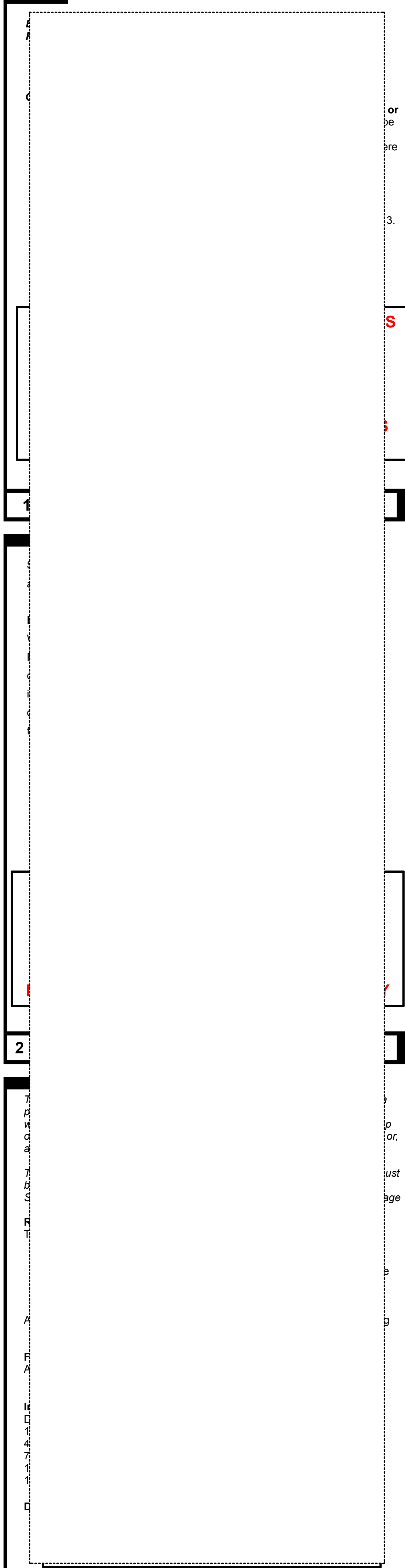
DRAWING SCALE
3/8" = 1'-0"

DRAWN BY / CHECKED BY
NB/NB

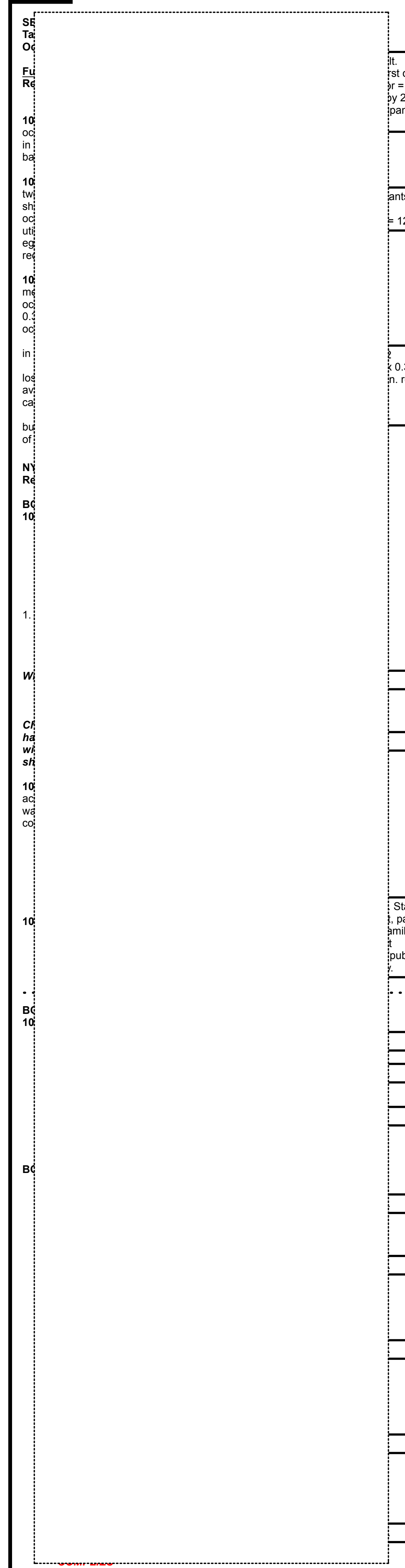
SHEET NUMBER
A-001.00

PAGE **03** OF **15** PAGES

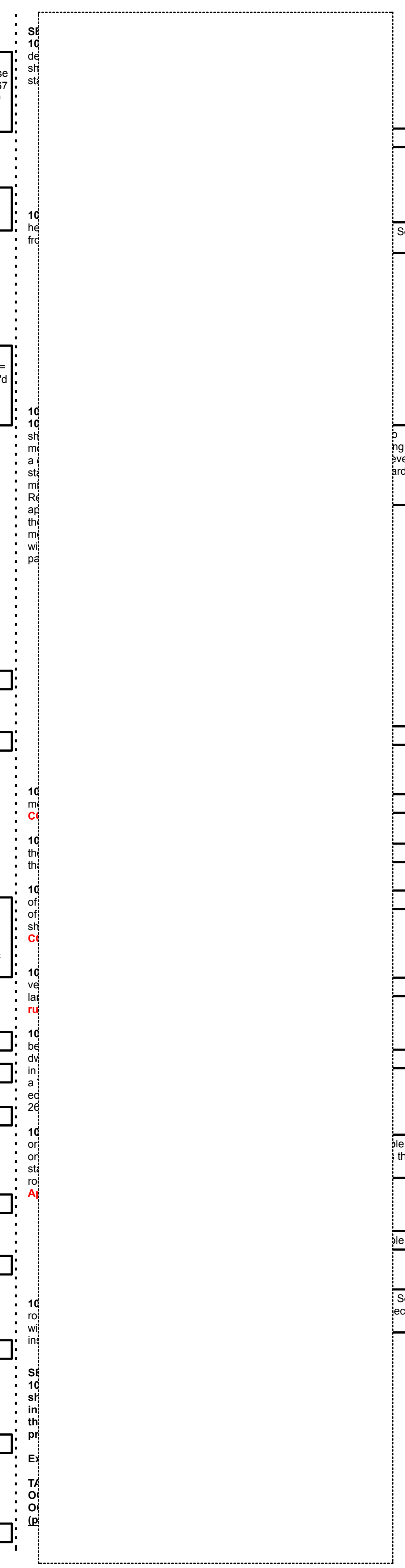
BIND THIS SIDE



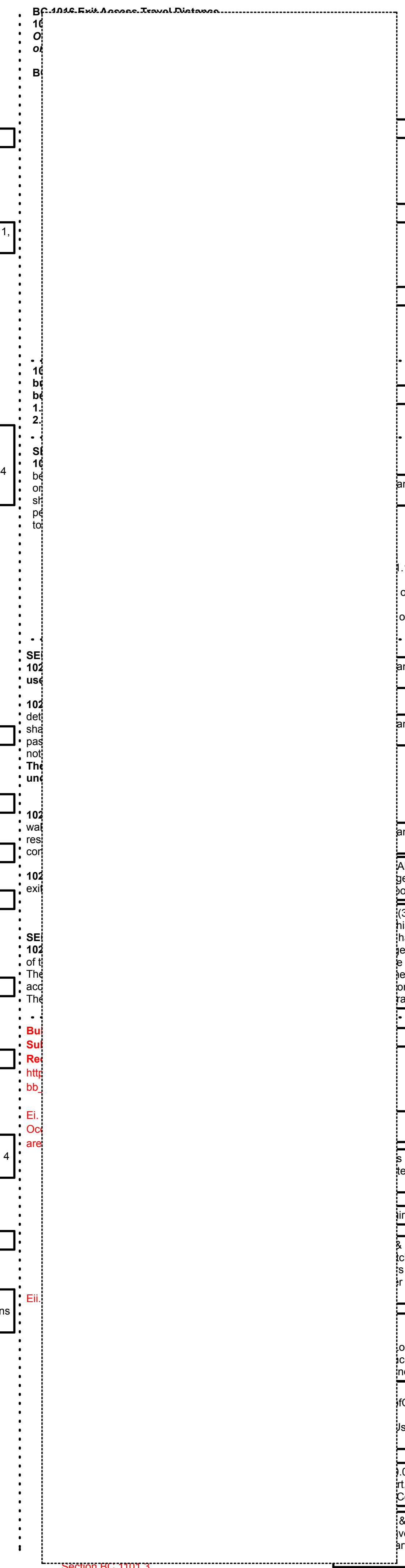
3 - AFTER HOURS VARIANCE



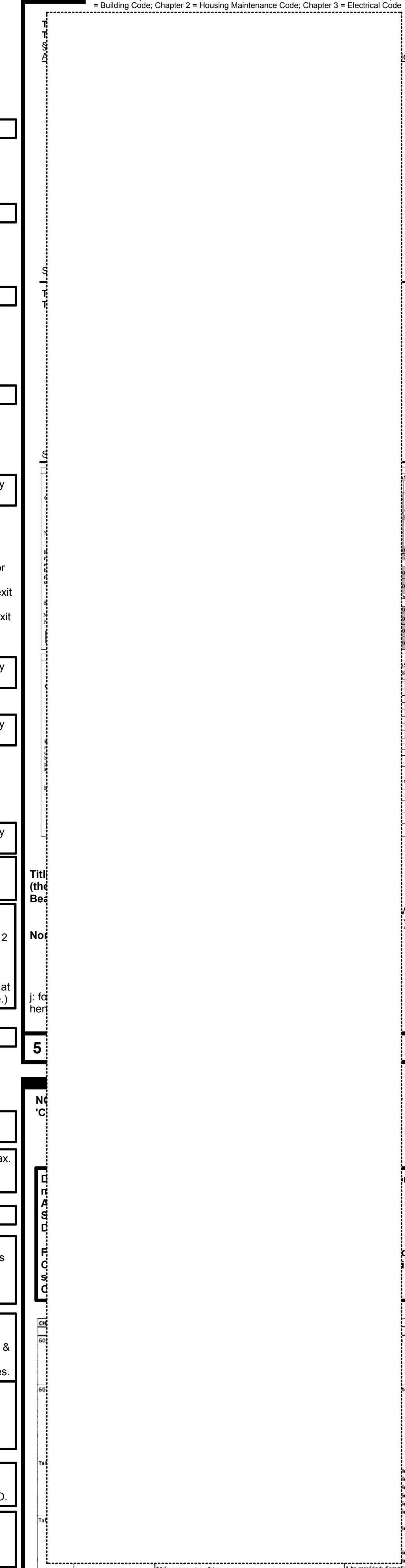
6 - EGRESS CODE COMPLIANCE, Typ Conditions



Section BC 1046. Exit Access, Travel Distance



Section BC 1101.3



5

DEPARTMENT OF BUILDINGS

BIND THIS SIDE

REQUIREMENTS:

All forms listed on page 1 of this drawing shall be submitted with this application.

Inspection

Density

Drainage Disposal Systems, and Sewage Disposal Systems

Flood Protection

Inspection

Required by the NYC

Inspection by

by "BC" = Building

Materials/Reference

DOB/st_ny_ci-n

1-10.pdf

REQUIREMENTS:

Department of Buildings. The Department of Buildings shall not be required to conduct an inspection of any work performed by a contractor or subcontractor unless such work is required to be inspected by the Department of Buildings.

Inspection

and penetration

Management controls

provide equipment for certificate

REQUIREMENTS:

All forms listed on page 1 of this drawing shall be submitted with this application.

REQUIREMENTS:

Responsibility for up to date. Ability to report. Download Form: ftr1ins_2008; http://www1.nyc.gov/ass

Bring. Sampling the TR1 upon. Form - Ref: ftr2.pdf; Download: ftr2ins.1

Sign Mix. Forms and final. Download Form: ftr3.pdf; Download: ftr3ins.1

Design Mix. Producers to strength of concrete prior to permit. Building Code. Field inspection. R3P. As a reference needed for: http://www1

New Buildings. Completion of requirements. http://www1.nyc.gov/ass; Instructions: http://www1.nyc.gov/ass

Report for permit. http://www1.nyc.gov/ass; http://www1.nyc.gov/ass

Installation instructions. and cannot be later than the date of the 2015 Rev. 12/14; http://www1.nyc.gov/ass; ftr5h_instr.pdf

MAINTENANCE (SPECIAL INSPECTION) Inspection of Building by the Engineer - Rev. 2/15; ftr6.pdf; Download: ftr6inst.pdf

INSPECTION (SPECIAL INSPECTION) In the Photo-Lithograph Building Code 403.1.1.1. Inspected pursuant to completed by 12/14; http://www1.nyc.gov/ass

ARCHITECT IN CHARGE OF RESPONSIBILITY Completion of requirements. NYCCECC. http://www1.nyc.gov/ass; http://www1.nyc.gov/ass

Architect or Engineer in connection with group R-3 building

Form Special Inspection activities by relevant training

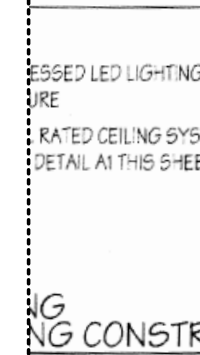
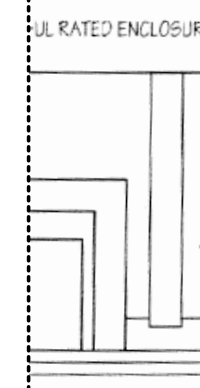
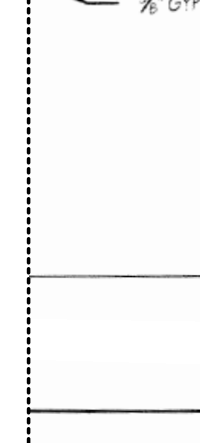
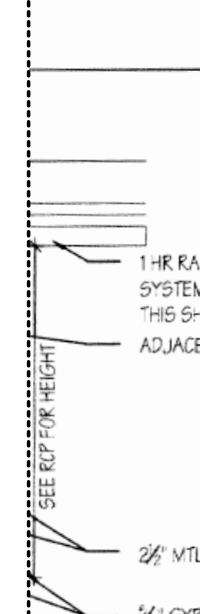
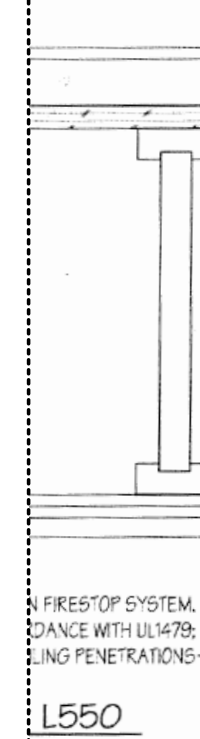
Architect or Engineer, or a Special Inspector, because there is an inspector; as 'Contractor Representative only'

Department of Buildings of the city to permit compliance with fire or structural code to perform the work.

The inspectors to be that is being inspected. correct the incorrect part of the code. verify that the code, and thus, tell as protective

- DEPARTMENT OF BUILDINGS
- PERMITTING SECTION
- INSPECTION SECTION
- In a...
- 28-
- 'It is...
- Sim...
- See...
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- 3 -

CONSTRUCTION DETAILS



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PROJECT NAME

PROJECT LOCATION

OWNER

PROJECT TEAM

ARCHITECT
SimpleTwig Architecture, LLC
Nic Buccalo, Architect 718-488-7894
526 Prospect Avenue info@simpletwig.com
Brooklyn, NY 11215 www.SimpleTwig.com
every nest starts with a simple twig...

FILING REPRESENTATIVE

CONSULTANTS

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE

Requirements

Inspections, Fire-Rated Sections, Smoke & Co2 Detectors, Notes

PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE
3/8" = 1'-0"

DRAWN BY / CHECKED BY
NB/NB

SHEET NUMBER
A-002.00

PAGE 04 OF 15 PAGES

BIND THIS SIDE

3 - MOLD CODE COMPLIANCE NOTES

Refer to the work orders for the mold remediation work. The mold remediation work should be completed in accordance with the mold remediation standards set forth in the mold remediation code. The mold remediation work should be completed in accordance with the mold remediation code. The mold remediation work should be completed in accordance with the mold remediation code.

6 - WINDOW GUARD(S) REQUIREMENTS

Window guards are required for all windows in the building. The window guards should be installed in accordance with the window guard code. The window guards should be installed in accordance with the window guard code. The window guards should be installed in accordance with the window guard code.

8 - PEST CONTROL REQUIREMENTS

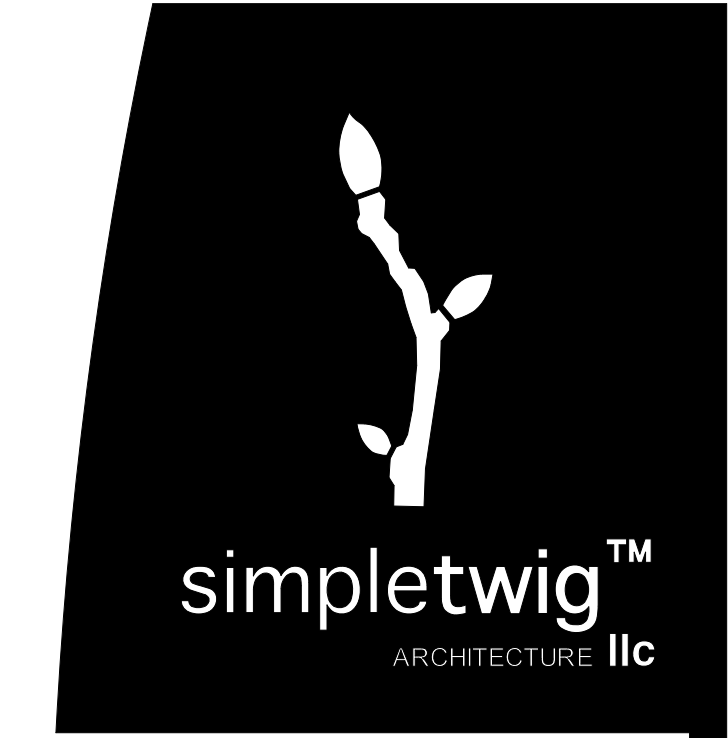
Pest control is required for all buildings. The pest control should be performed in accordance with the pest control code. The pest control should be performed in accordance with the pest control code. The pest control should be performed in accordance with the pest control code.

9 - HOUSING & MAINTENANCE REFERENCES

References for housing and maintenance requirements are provided in this section. The references include the following: [List of references]

10 - SAFETY NOTES, GENERAL

General safety notes for the project are provided in this section. The safety notes include the following: [List of safety notes]



PROJECT NAME

PROJECT LOCATION

OWNER

PROJECT TEAM

ARCHITECT
SimpleTwig Architecture, LLC
Nic Buccalo, Architect 718-488-7894
526 Prospect Avenue info@simpletwig.com
Brooklyn, NY 11215 www.SimpleTwig.com

FILING REPRESENTATIVE

CONSULTANTS

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE

Safety & Protection
Tenant Protection Plan, Pest, Mold, Lead, Maintenance, Grills, Safety

PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE
3/8" = 1'-0"

DRAWN BY / CHECKED BY
NB/NB

SHEET NUMBER
A-003.00

PAGE 05 OF 15 PAGES

DEPARTMENT OF BUILDINGS

BIND THIS SIDE

1) Below Slab - not used

2) All electrical work shall be installed in accordance with the National Electrical Code (NEC) and all applicable local codes.

3) All electrical work shall be installed in a safe and sound manner.

4) All electrical work shall be installed in a neat and workmanlike manner.

5) All electrical work shall be installed in a safe and sound manner.

6) All electrical work shall be installed in a neat and workmanlike manner.

7) All electrical work shall be installed in a safe and sound manner.

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9) All electrical work shall be installed in a safe and sound manner.

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17) All electrical work shall be installed in a safe and sound manner.

18) All electrical work shall be installed in a neat and workmanlike manner.

19) All electrical work shall be installed in a safe and sound manner.

20) All electrical work shall be installed in a neat and workmanlike manner.

3 - BASIC ELECTRICAL NOTES

1) Below Slab - not used

2) All construction work shall be installed in accordance with the International Building Code (IBC) and all applicable local codes.

3) All construction work shall be installed in a safe and sound manner.

4) All construction work shall be installed in a neat and workmanlike manner.

5) All construction work shall be installed in a safe and sound manner.

6) All construction work shall be installed in a neat and workmanlike manner.

7) All construction work shall be installed in a safe and sound manner.

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19) All construction work shall be installed in a safe and sound manner.

20) All construction work shall be installed in a neat and workmanlike manner.

4 - BASIC CONSTRUCTION NOTES

1) All materials shall be installed in accordance with the International Building Code (IBC) and all applicable local codes.

2) All materials shall be installed in a safe and sound manner.

3) All materials shall be installed in a neat and workmanlike manner.

4) All materials shall be installed in a safe and sound manner.

5) All materials shall be installed in a neat and workmanlike manner.

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18) All materials shall be installed in a safe and sound manner.

19) All materials shall be installed in a neat and workmanlike manner.

20) All materials shall be installed in a safe and sound manner.

5 - BASIC MATERIALS NOTES

1) All painting and trim work shall be installed in accordance with the International Building Code (IBC) and all applicable local codes.

2) All painting and trim work shall be installed in a safe and sound manner.

3) All painting and trim work shall be installed in a neat and workmanlike manner.

4) All painting and trim work shall be installed in a safe and sound manner.

5) All painting and trim work shall be installed in a neat and workmanlike manner.

6) All painting and trim work shall be installed in a safe and sound manner.

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18) All painting and trim work shall be installed in a safe and sound manner.

19) All painting and trim work shall be installed in a neat and workmanlike manner.

20) All painting and trim work shall be installed in a safe and sound manner.

8 - BASIC PAINTING & TRIM NOTES

1) All general contractor work shall be installed in accordance with the International Building Code (IBC) and all applicable local codes.

2) All general contractor work shall be installed in a safe and sound manner.

3) All general contractor work shall be installed in a neat and workmanlike manner.

4) All general contractor work shall be installed in a safe and sound manner.

5) All general contractor work shall be installed in a neat and workmanlike manner.

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18) All general contractor work shall be installed in a safe and sound manner.

19) All general contractor work shall be installed in a neat and workmanlike manner.

20) All general contractor work shall be installed in a safe and sound manner.

11 - GENERAL CONTRACTOR NOTES



PROJECT NAME

PROJECT LOCATION

OWNER

PROJECT TEAM

ARCHITECT
SimpleTwig Architecture llc
Nic Buccalo, Architect 718-488-7894
526 Prospect Avenue info@simpletwig.com
Brooklyn, NY 11215 www.SimpleTwig.com
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FILING REPRESENTATIVE

CONSULTANTS

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE

Construction
General Construction Notes,
Materials, Finishes & Specifications

PROFESSIONAL SEAL / SIGNATURE

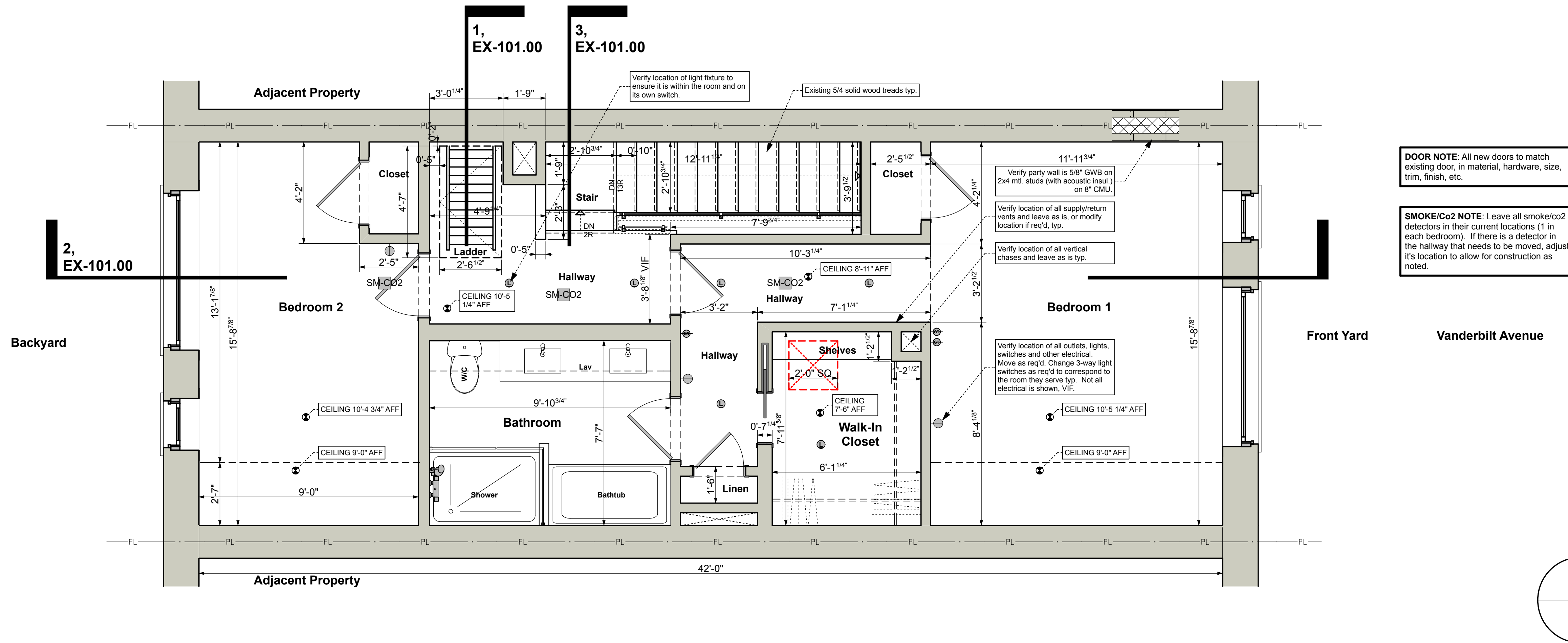
DRAWING SCALE
3/8" = 1'-0"

DRAWN BY / CHECKED BY
NB/NB

SHEET NUMBER
G-100.00

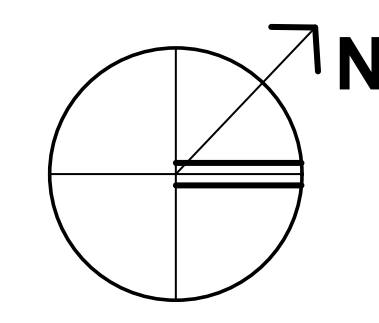
PAGE **06** OF **15** PAGES

DEPARTMENT OF BUILDINGS

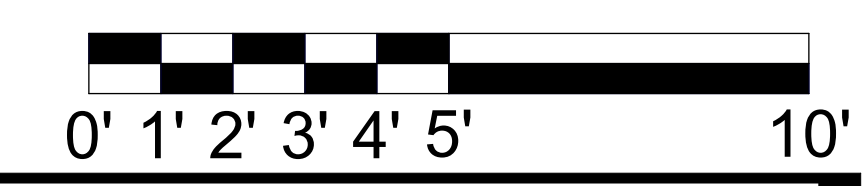
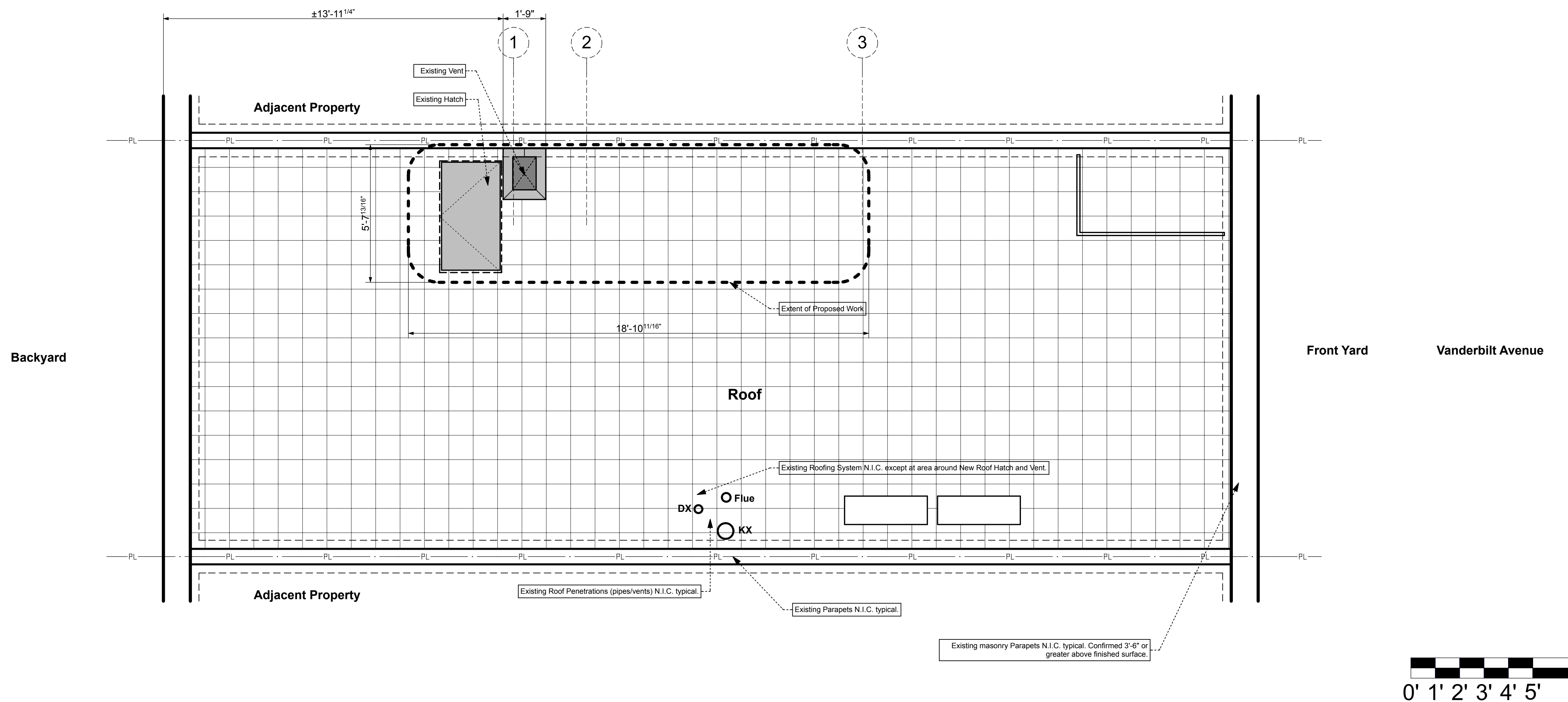


DOOR NOTE: All new doors to match existing door, in material, hardware, size, trim, finish, etc.

SMOKE/CO2 NOTE: Leave all smoke/co2 detectors in their current locations (1 in each bedroom). If there is a detector in the hallway that needs to be moved, adjust it's location to allow for construction as noted.



1 - EXISTING Third (3rd) Floor Plan - Verify All Dimensions And Conditions In Field (VIF)



PROJECT NAME

PROJECT LOCATION

OWNER

PROJECT TEAM

ARCHITECT

SimpleTwig Architecture, llc
 Nic Buccalo, Architect 719-488-7894
 526 Prospect Avenue info@simpletwig.com
 Brooklyn, NY 11215 www.SimpleTwig.com

FILING REPRESENTATIVE

CONSULTANTS

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE

Existing

3rd & Roof Floor Plan - Existing Conditions (reference)

PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE

3/8" = 1'-0"

DRAWN BY / CHECKED BY

NB/NB

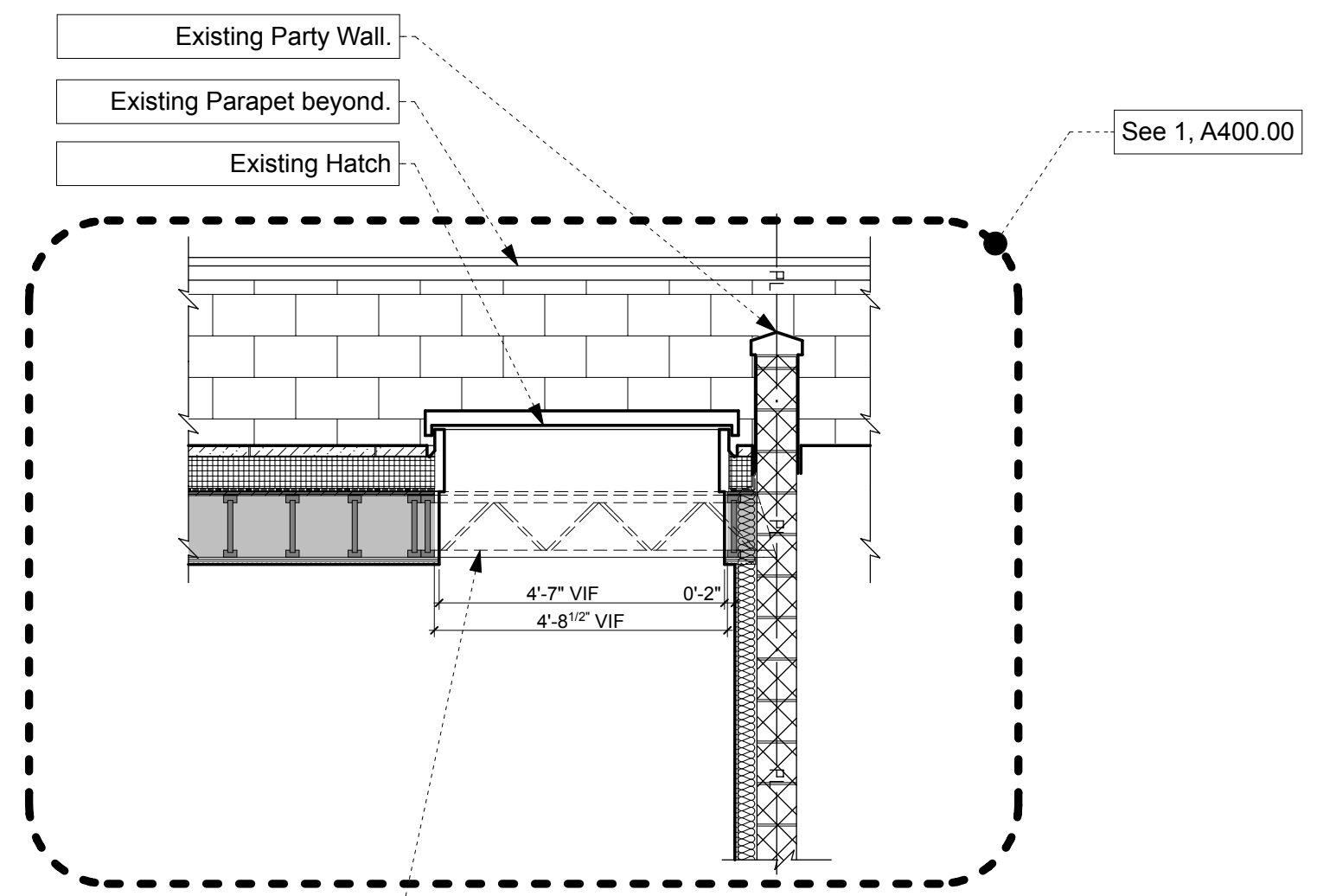
SHEET NUMBER

EX-100.00

PAGE 07 OF 15 PAGES

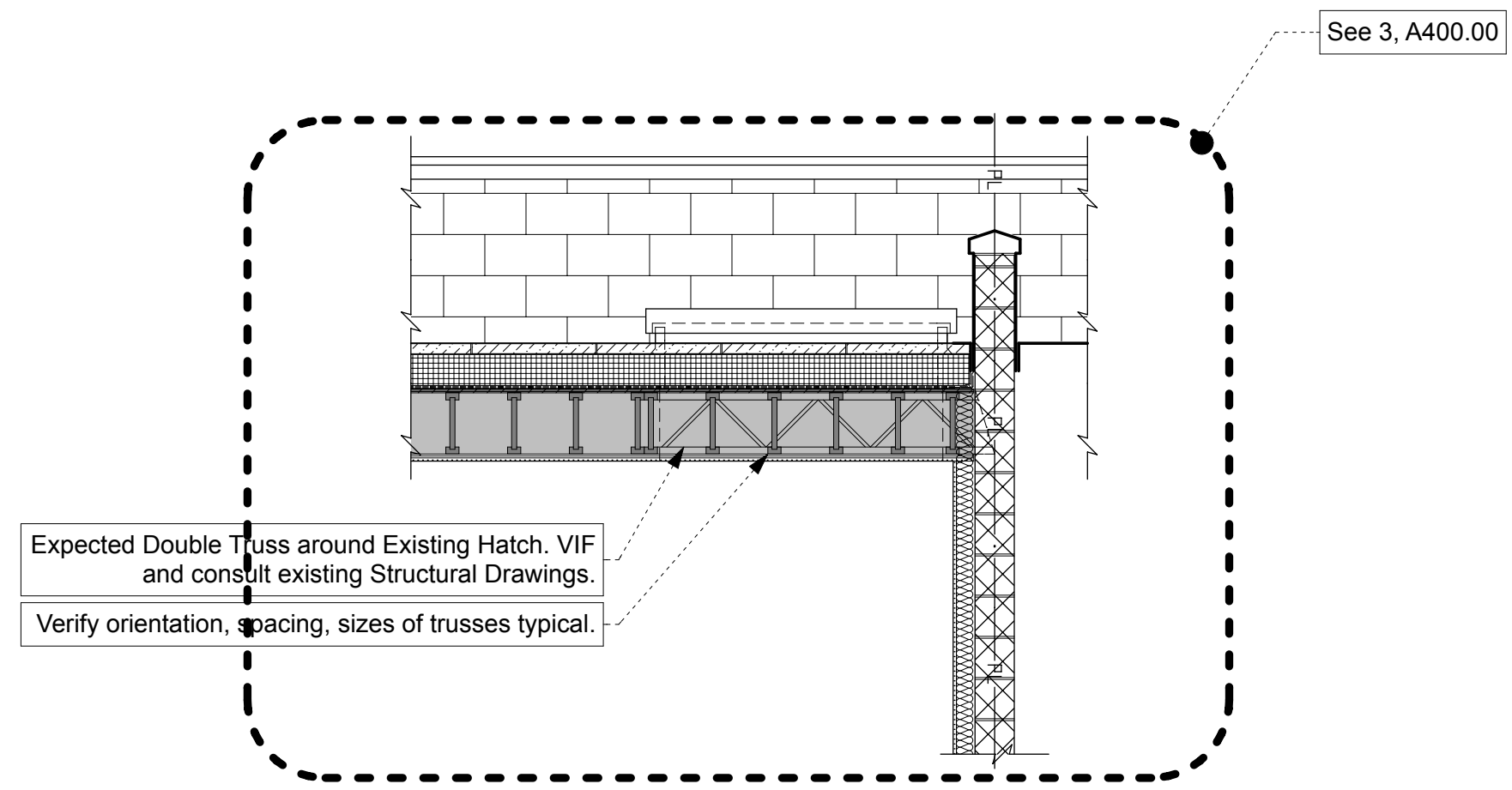
BIND THIS SIDE

DEPARTMENT OF BUILDINGS



Expected Double Truss around Existing Hatch, VIF and consult existing Structural Drawings.

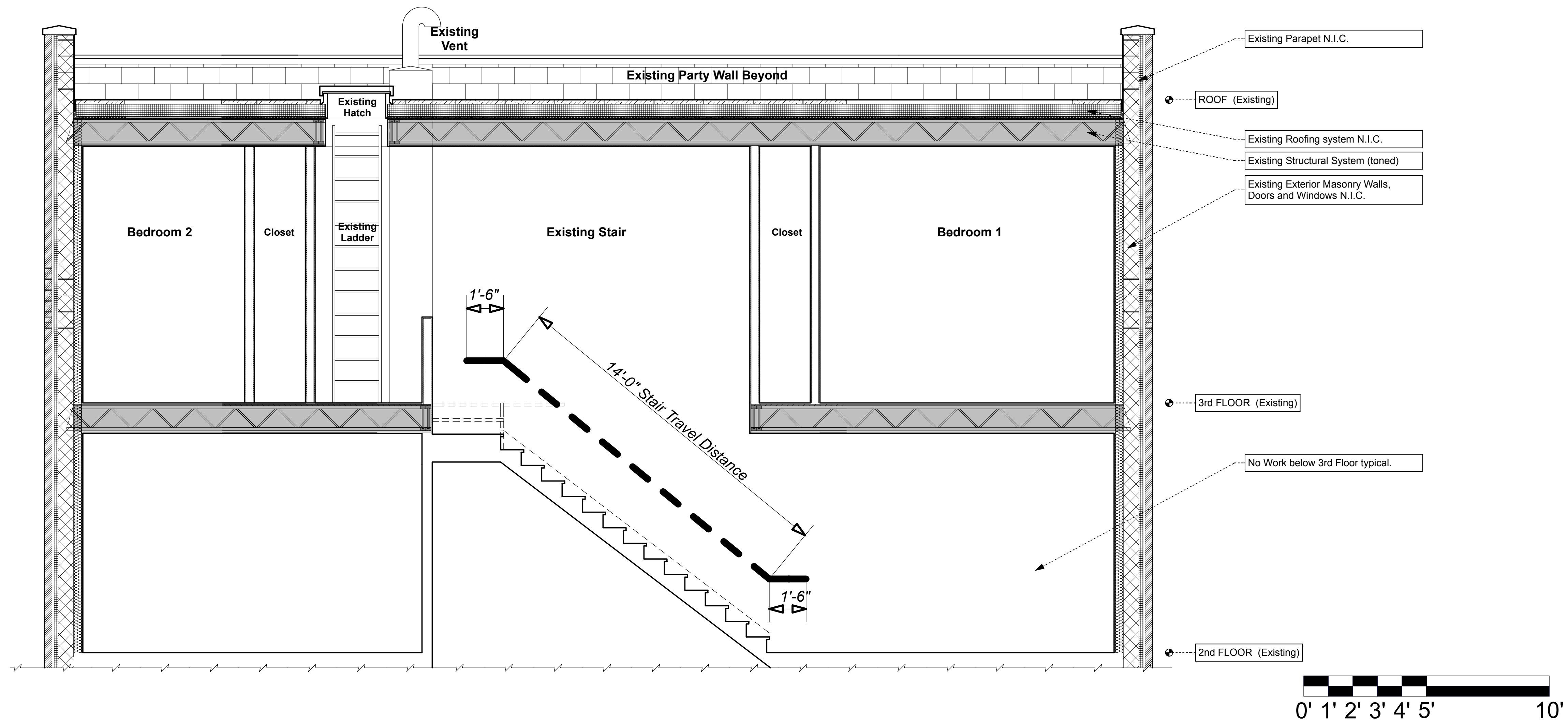
1 - EXISTING Cross-Section at HATCH - Verify All Dimensions And Conditions In Field (VIF)



Expected Double Truss around Existing Hatch, VIF and consult existing Structural Drawings. Verify orientation, spacing, sizes of trusses typical.

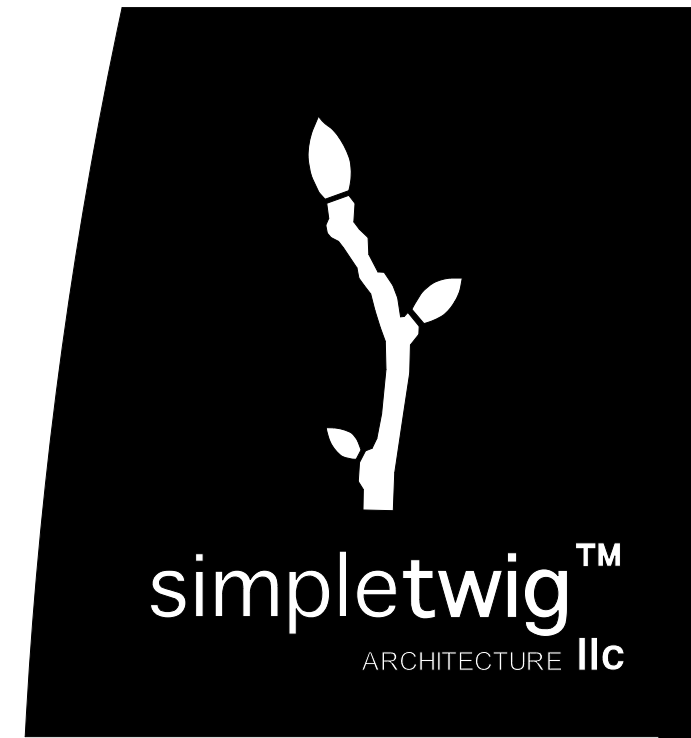
3 - EXISTING Cross-Section at PARTY WALL - Verify All Dimensions And Conditions In Field (VIF)

4 - EXISTING not used



2 - EXISTING Longitudinal-Section at STAIR - Verify All Dimensions And Conditions In Field (VIF)

BIND THIS SIDE



PROJECT NAME
Hansell/Mommsen Reno

PROJECT LOCATION
34 Vanderbilt Avenue
Brooklyn, NY 11205
Between Flushing Ave. and Park Ave.

34 Vanderbilt Avenue, Brooklyn, NY 1105

PROJECT TEAM

Brooklyn, NY 11215 www.SimpleTwig.com
every nest starts with a simple twig...

FILING REPRESENTATIVE
S & M Expediting
Mercedes Lata 718-833-2333
9054 Fort Hamilton Parkway, Brooklyn 11209
Merceddes@SandMExpediting.com

CONSULTANTS

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

Existing
Existing Section Conditions
(reference)

DRAWING SCALE
3/8" = 1'-0"

DRAWN BY / CHECKED BY
NB/NB

SHEET NUMBER
EX-101.00

PAGE 08 OF 15 PAGES



PROJECT NAME

PROJECT LOCATION

OWNER

PROJECT TEAM

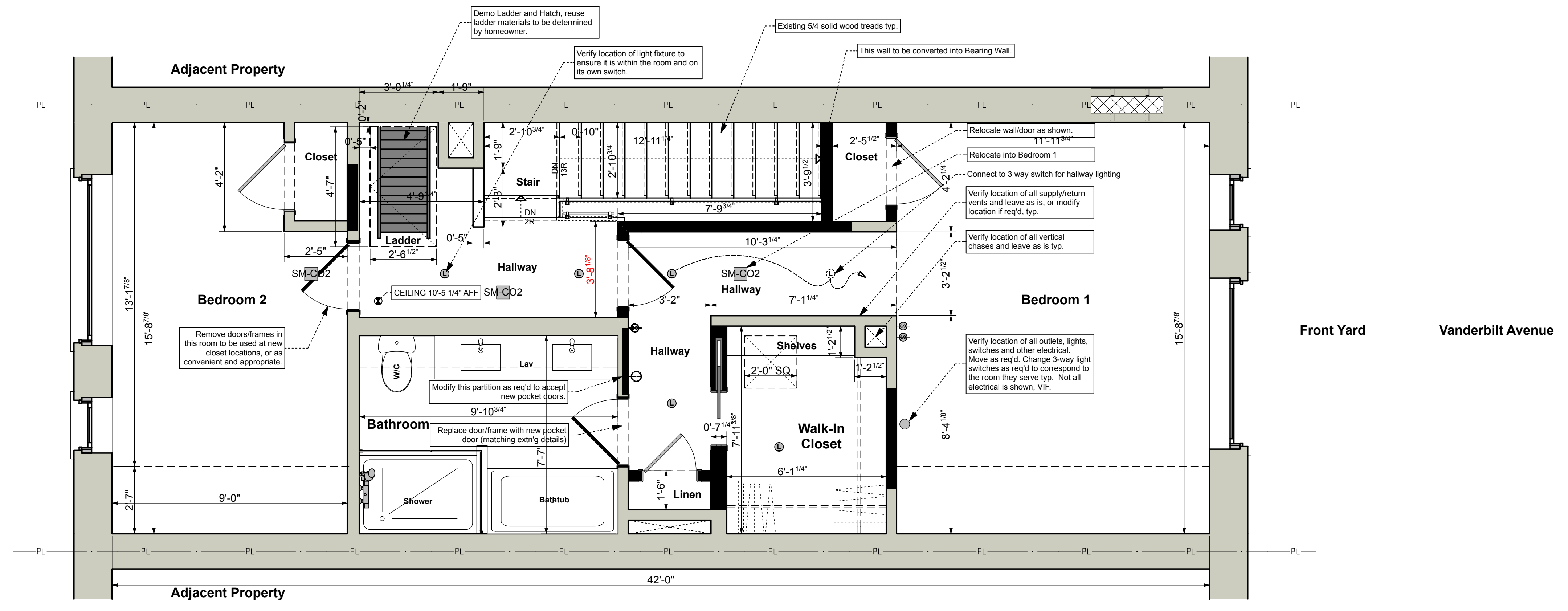
ARCHITECT
SimpleTwig Architecture, LLC
 Nic Buccalo, Architect 718-488-7894
 526 Prospect Avenue info@simpletwig.com
 Brooklyn, NY 11215 www.SimpleTwig.com

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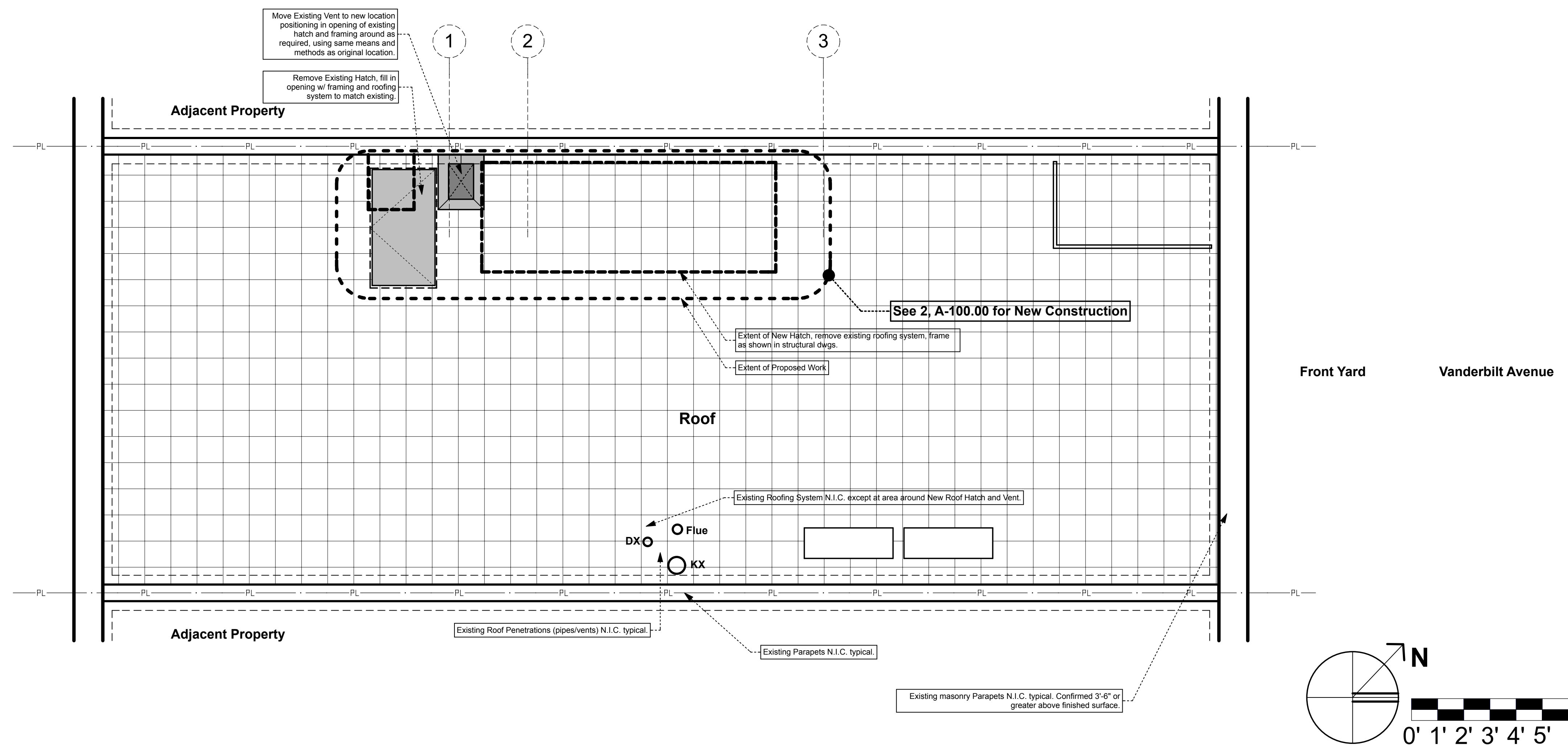
FILING REPRESENTATIVE

CONSULTANTS

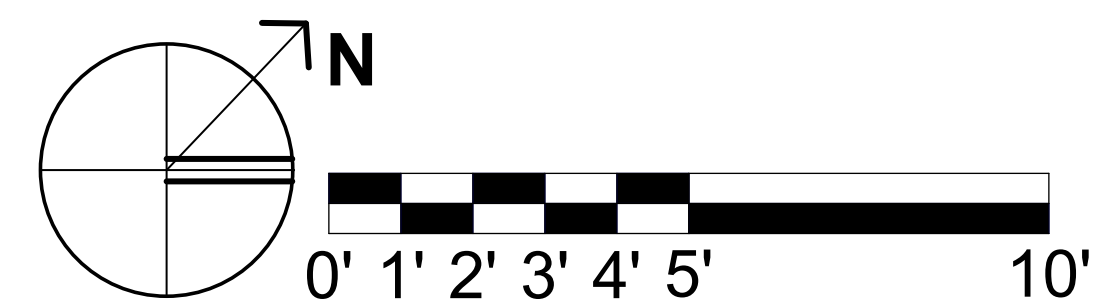
Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)



1 - DEMOLITION Third (3rd) Floor Plan - Verify All Dimensions And Conditions In Field (VIF)



2 - DEMOLITION Roof Floor Plan - Verify All Dimensions And Conditions In Field (VIF)



SHEET DESCRIPTION / DRAWING TITLE

Existing/Demo
 3rd Floor Plan &
 Roof Floor Plan

PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE
3/8" = 1'-0"

DRAWN BY / CHECKED BY
NB/NB

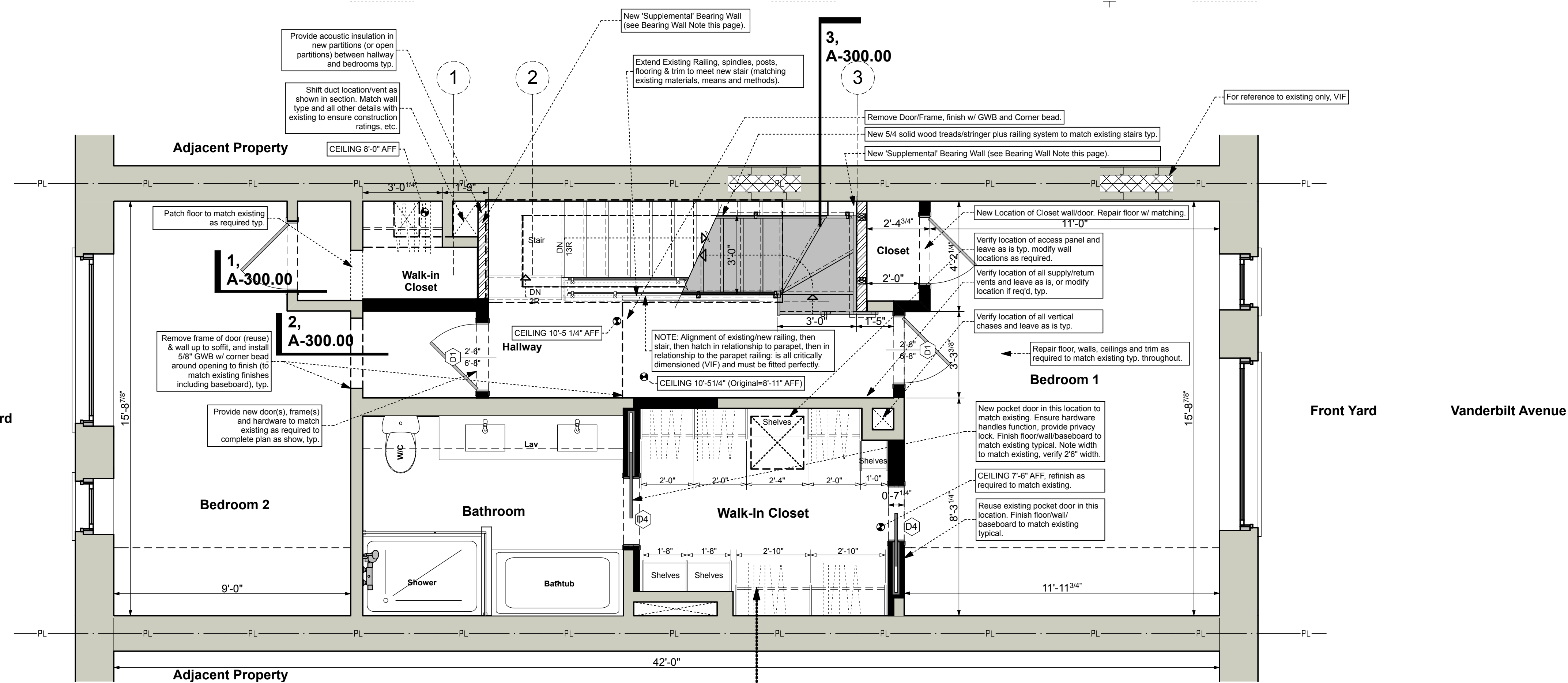
SHEET NUMBER
DM-100.00

PAGE 09 OF 15 PAGES

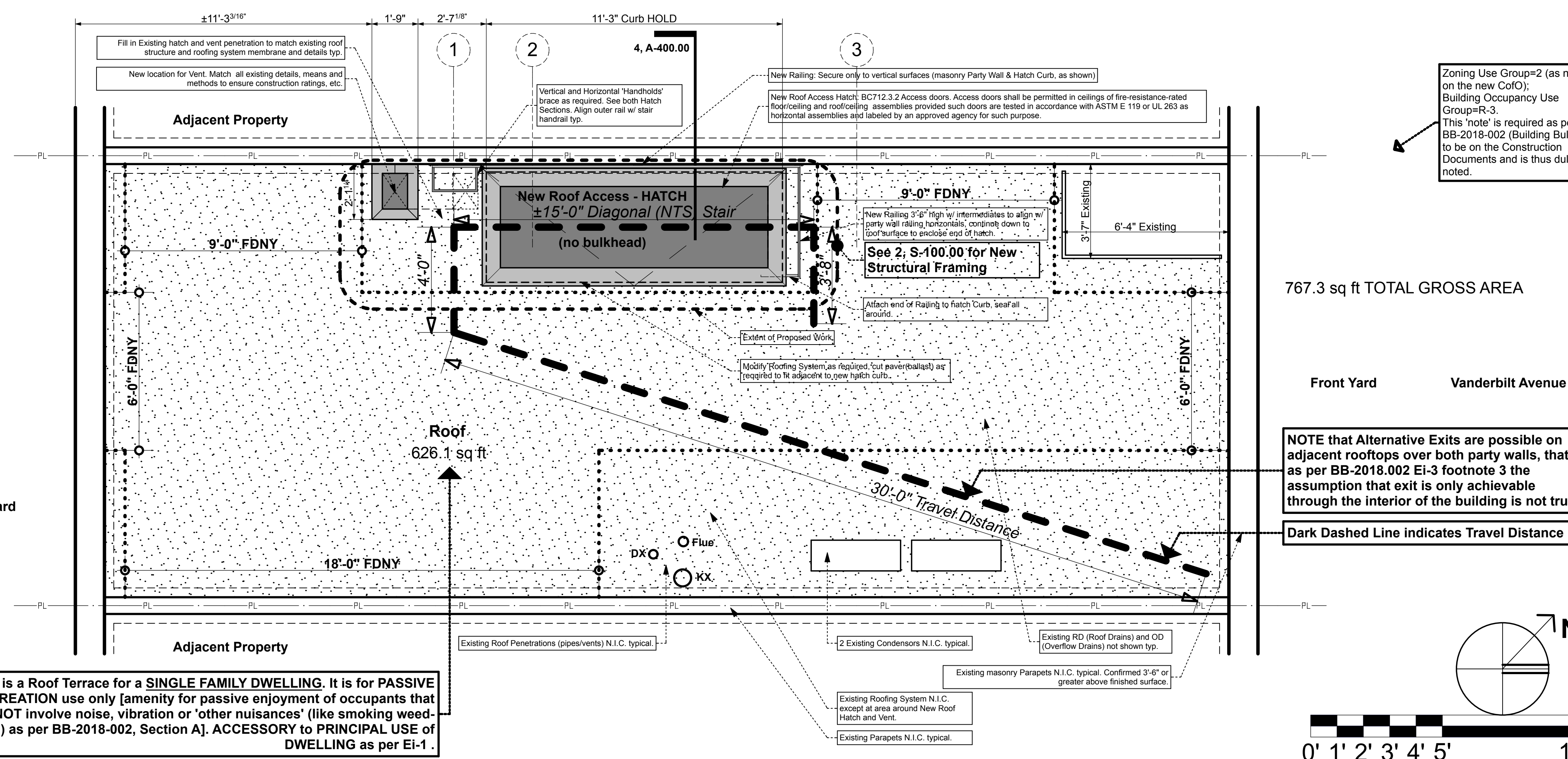
BIND THIS SIDE

DEPARTMENT OF BUILDINGS

BIND THIS SIDE



1 - NEW Third (3rd) Floor Plan - Verify All Dimensions And Conditions In Field (VIF)



2 - NEW Roof Floor Plan - Verify All Dimensions And Conditions In Field (VIF)

DOOR TYPES:
D1 = Reuse Existing Door, Frame and Hardware.
D2 = New, match D1 Doors.
D3 = Bi-fold louvered, single leaf.
D4 = Pocket Door (either new or existing).

Save existing unused doors/hardware UNO by Homeowners.

Drawing References for New Building DOB Set (so that this construction matches existing construction details):
Architect: Curtis + Ginsberg Architects LLP
Structural Engineer: Goldstein Assoc. Engineers
DOB Job Numbers: 320513397 & ES5674155

For Door Head/Jamb existing details, see C1, C2 and C3, A610.00 in order to match existing details.

3 - NEW DOOR DETAIL NOTES (Match Existing)

BUILDING OCCUPANCY CHART
 (as per original DOB house drawings, Sheet G-013.00)

FLOOR	DESCRIPTION/USE	OCCUPANCY	CODE GROUP	ZONING USE GROUP
Cellar	Storage	2 persons	R-3	2
Cellar	Mechanical	1 persons	R-3	2
First	Residential	4 persons	R-3	2
Second	Residential	4 persons	R-3	2
Third	Residential	4 persons	R-3	2
Roof	Private Terrace	4 persons	R-3	2
TOTAL BUILDING OCCUPANCY		19 Persons		

Notes:
 1) Per Table 1004.1.1, Maximum Floor Area allowance per occupant is: Residential is 200 Gross per Person within Dwelling Units. Accessory Storage and Mechanical Equipment Room is 300 Gross per Person.
 2) Terraces Accessory to Residential Units, per 1004.8 Private Terrace.
 3) 1004.8 Exceptions 1-Outdoor areas used exclusively for service of the building need only have one means of egress.
 4) 767 SF Gross Area divided by 200 SF/person = 3.8 or 4 persons. For Roof Terrace use 200 SF per person noting that the roof structure is the same as all floors within this townhouse.

4 - BUILDING OCCUPANCY CHART

EXIT SUMMARY CHART
 (as per original DOB house drawings, Sheet G-013.00)
 As per Table 1005:

OCCUPANCY	STAIRWAYS (inches/occupant)	OTHER COMPONENTS (inches/occupant)
R-3	0.3 inches	0.2 inches

FLOOR	OCCUPANCY	TOTAL OCCUPANT LOAD	MAX. TRAVEL DISTANCE BC1015.1 ALLOWED	PROVIDED
Cellar	R-3, Storage	2 persons	150'-0"	64'-1"
Cellar	R-3, Mechanical	1 persons	150'-0"	83'-2"
First	R-3, Residential	4 persons	150'-0"	45'-4"
Second	R-3, Residential	4 persons	150'-0"	64'-9"
Third	R-3, Residential	4 persons	150'-0"	101'-0"
Roof-New	R-3, Residential	4 persons	150'-0"	134'-4"

FLOOR	OCCUPANCY	REQUIRED EXIT CAPACITY STAIRS (36" MIN)	PROVIDED
Cellar	R-3, Storage	.06 < 36"	36"
Cellar	R-3, Mechanical	.03 < 36"	36"
First	R-3, Residential	not applicable	36"
Second	R-3, Residential	1.2 < 36"	36"
Third	R-3, Residential	1.2 < 36"	36"
Roof	R-3, Residential	1.2 < 36"	36"

Notes:
 1) Per Table 1004.1.1, Maximum Floor Area allowance per occupant is: Residential is 200 Gross per Person within Dwelling Units. Accessory Storage and Mechanical Equipment Room is 300 Gross per Person.
 2) Terraces Accessory to Residential Units, per 1004.8 Private Terrace.
 3) 1004.8 Exceptions 1-Outdoor areas used exclusively for service of the building need only have one means of egress.
 4) 767 SF Gross Area divided by 200 SF/person = 3.8 or 4 persons. For Roof Terrace use 200 SF per person noting that the roof structure is the same as all floors within this townhouse.
 ** See 'Travel Distance Calculations' below.

TRAVEL DISTANCE CALCULATIONS:

From Roof to 3rd Floor Landing = 52'-4"
 (30'-0" + 3'-8" + 15'-0" + 3'-8")

3rd Floor Landing to 2nd Floor Landing = 39'-0"
 (14'-0" + 4'-0" + 17'-0" + 4'-0")

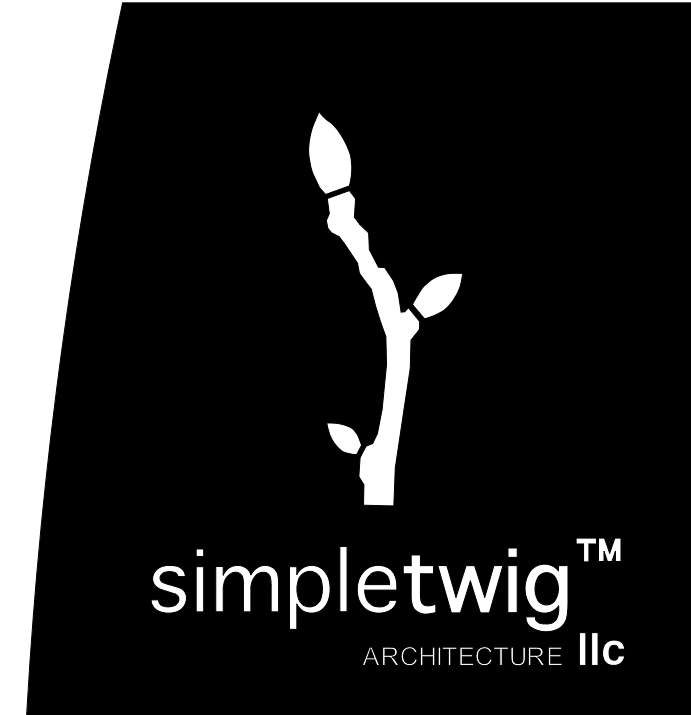
2nd Floor Landing to 1st Floor Front Door = 43'-0"
 (4'-0" + 14'-0" + 4'-0" + 21'-0")

TOTAL DISTANCE FROM FURTHEST POINT ON ROOF TO FRONT DOOR = 134'-4" WHICH IS LESS THAN 150'-0". COMPLIES

MAXIMUM OCCUPANT LOAD BASED ON EGRESS WIDTH AS PROPOSED:
 36" Provided Egress Width (doorway) divided by 0.3"/occupant = 120 occupants which exceeds proposed-COMPLIES.

Assuming worse case scenario, 1 occupant every 8 SF for 626 SF Net Proposed Roof Terrace = 82 Occupants, therefore provide sign that states 30 occupants max. to meet Eii-1 of BB 2018-002 bulletin.

5 - EXIT SUMMARY CHART



PROJECT NAME: _____

PROJECT LOCATION: _____

OWNER: _____

PROJECT TEAM

ARCHITECT
SimpleTwig Architecture, llc
 Nic Buccalo, Architect 718-488-7894
 526 Prospect Avenue info@simpletwig.com
 Brooklyn, NY 11215 www.SimpleTwig.com

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FILING REPRESENTATIVE: _____

CONSULTANTS: _____

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

New/Proposed

Third Floor Plan - Roof Floor Plan

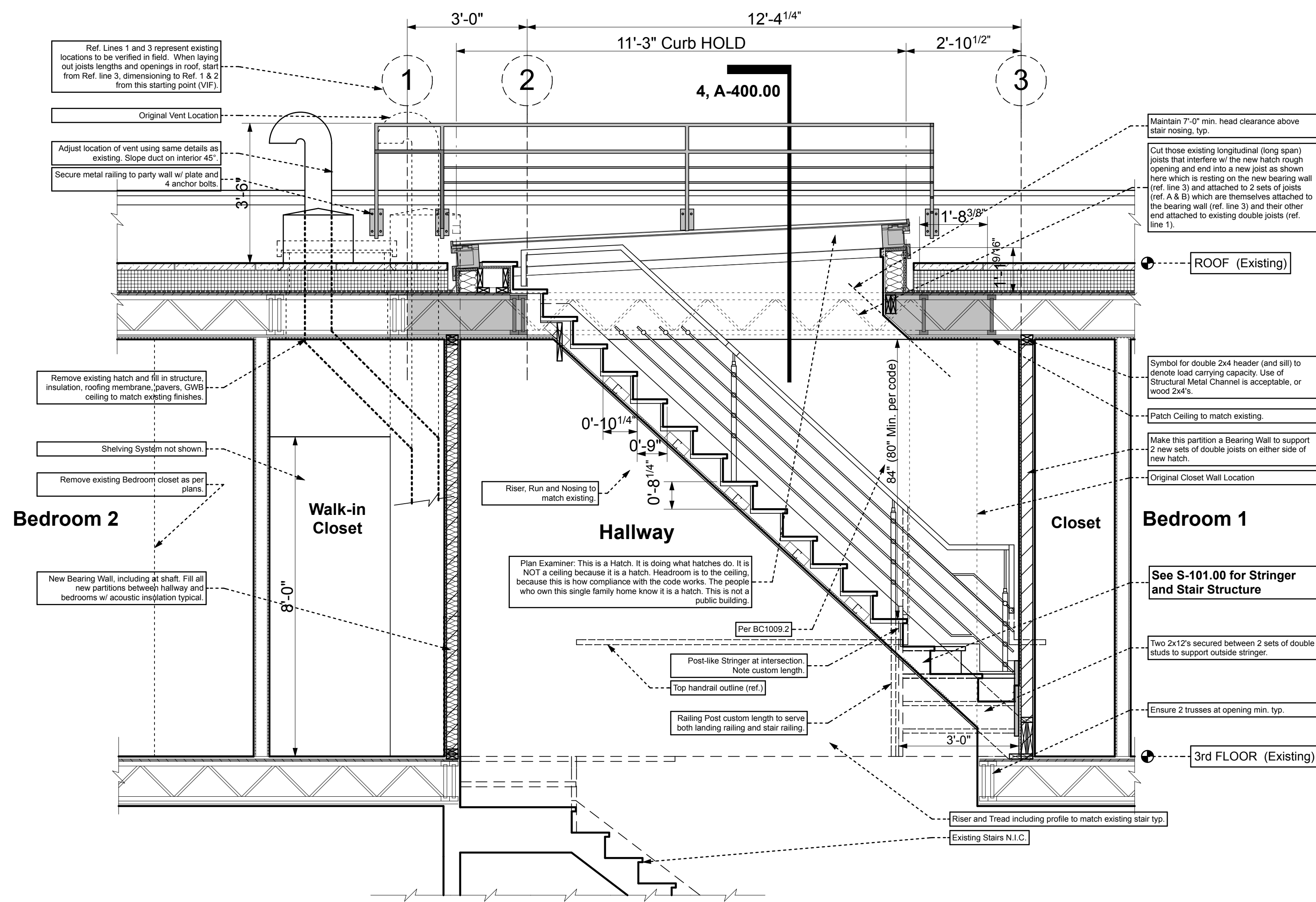
PROFESSIONAL SEAL / SIGNATURE: _____ DRAWING SCALE: **3/8" = 1'-0"**

DRAWN BY / CHECKED BY: **NB/NB**

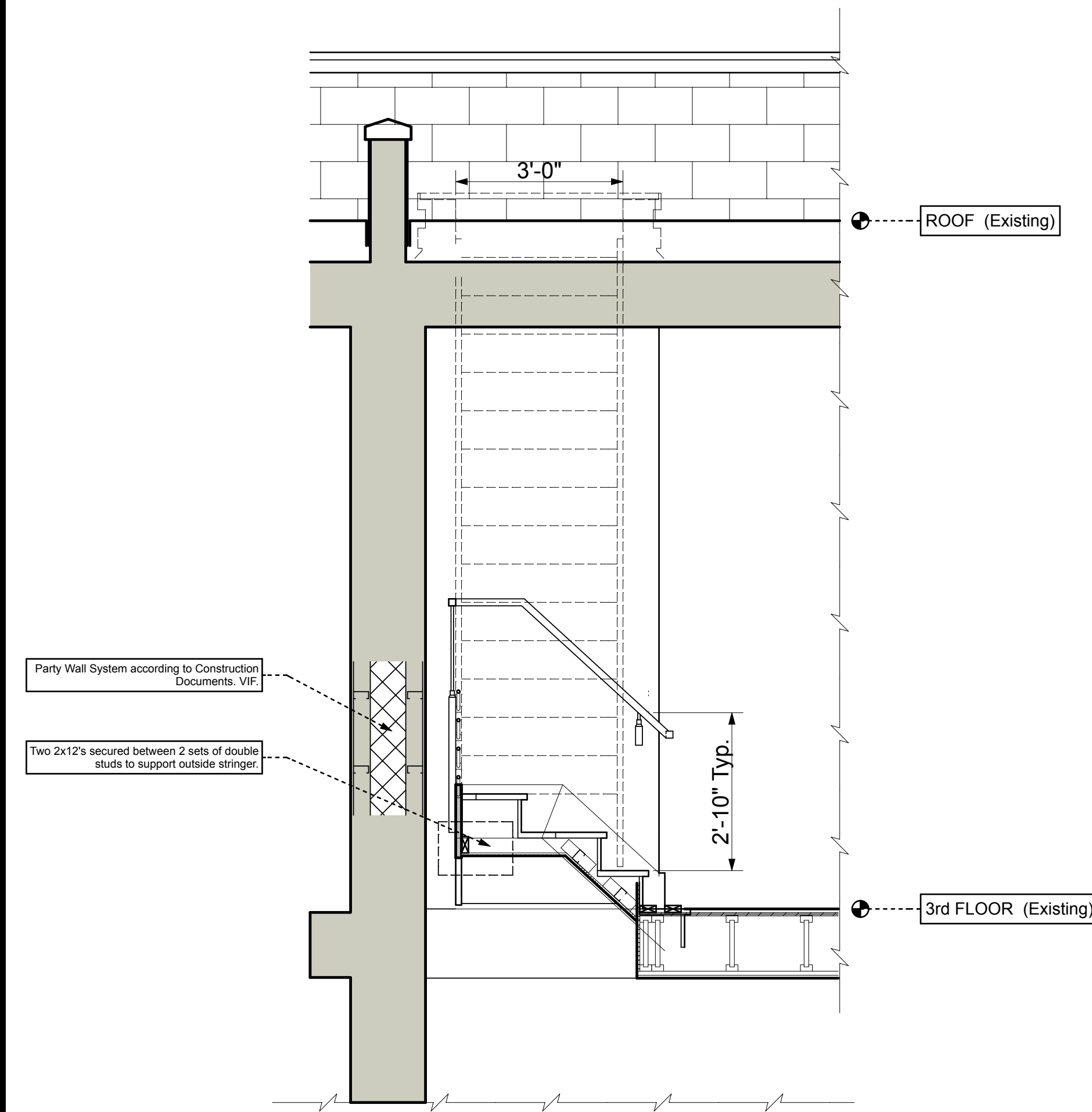
SHEET NUMBER: **A-100.00**

PAGE 10 OF 15 PAGES

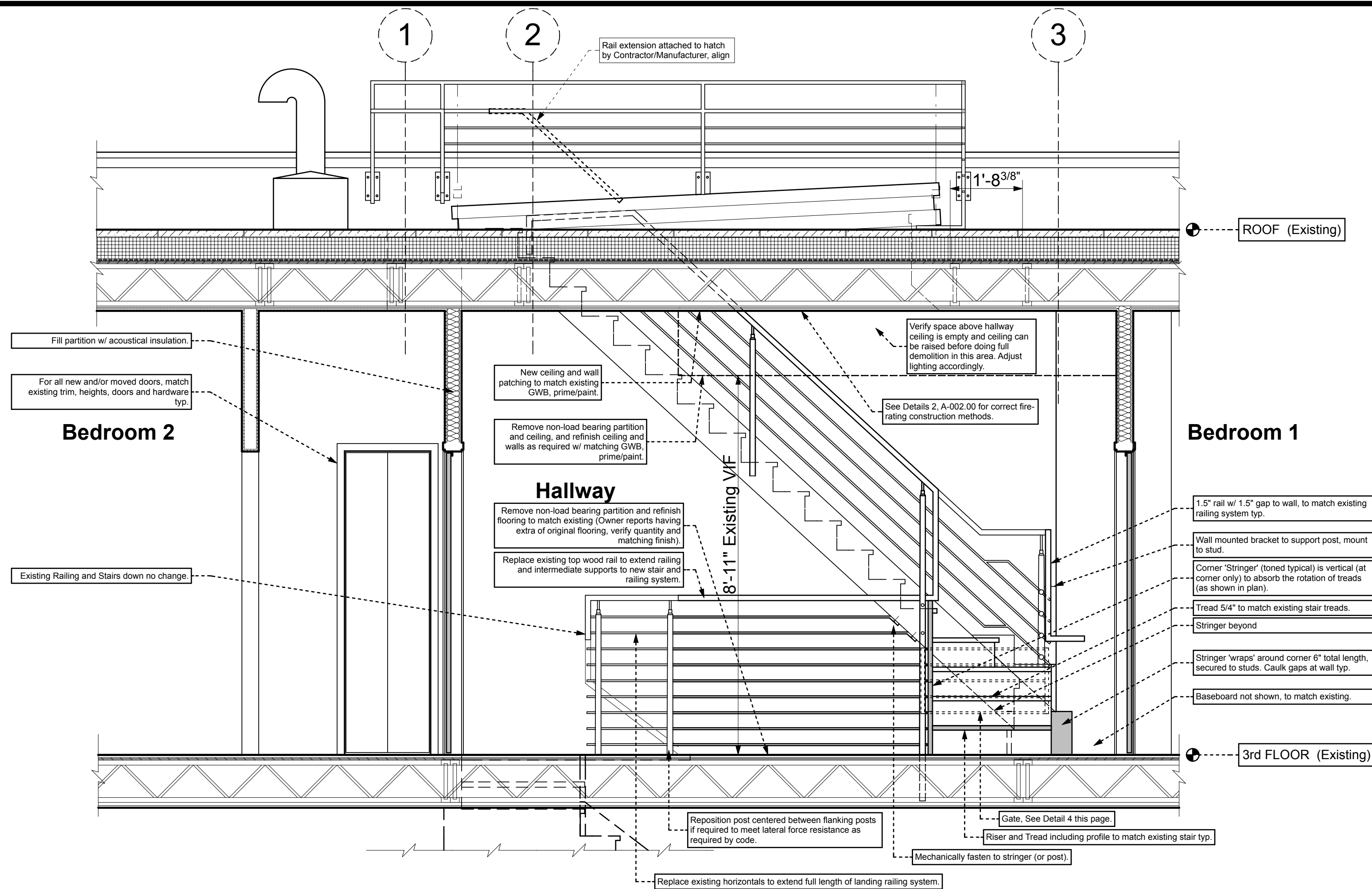
DEPARTMENT OF BUILDINGS



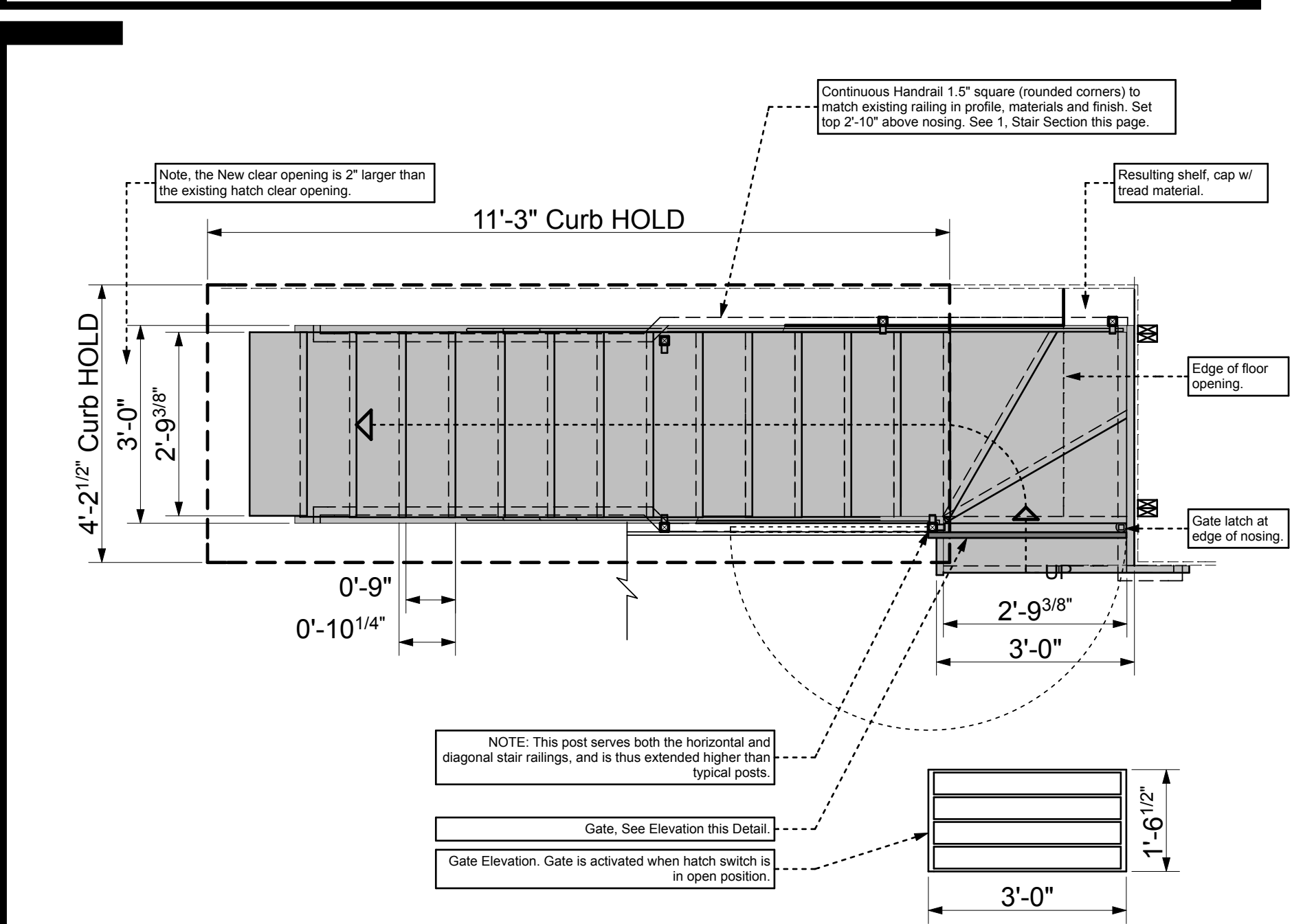
1 - STAIR LONGITUDINAL-SECTION



3 - STAIR CROSS-SECTION

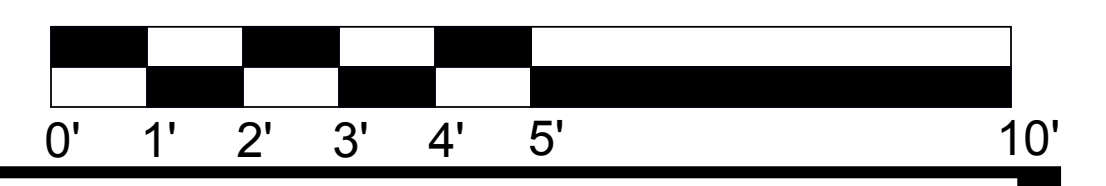


2 - SECTION THROUGH HALLWAY



Drawing References for New Building DOB Set (so that this construction matches existing construction details):
 Architect: Curtis + Ginsberg Architects LLP
 Structural Engineer: Goldstein Assoc. Engineers
 DOB Job Numbers: 320513397 & ES5674155

For Existing Stair Section and Cross-Section, see A1 & A2, A-401.00 of original CD set.
 For Railing Details, See A-411.00 of original CD set.



4 - NEW STAIR PLAN



PROJECT NAME

PROJECT TEAM

ARCHITECT
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FILING REPRESENTATIVE

CONSULTANTS

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE

Sect./Plan Details
 Detail Stair Floor Plan, Sections, Elevations and Details

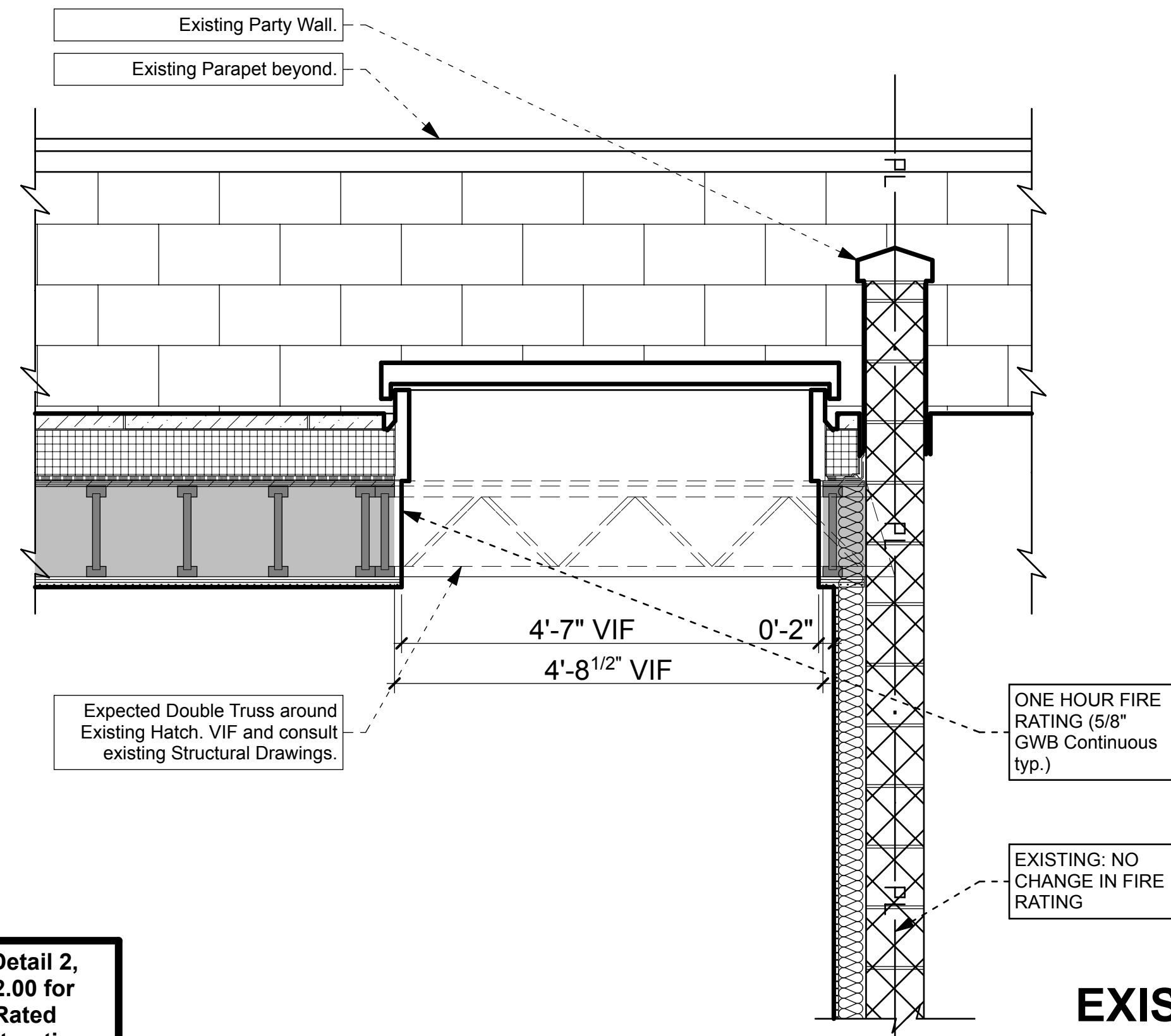
PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE
1/2" = 1'-0"

DRAWN BY / CHECKED BY
NB/NB

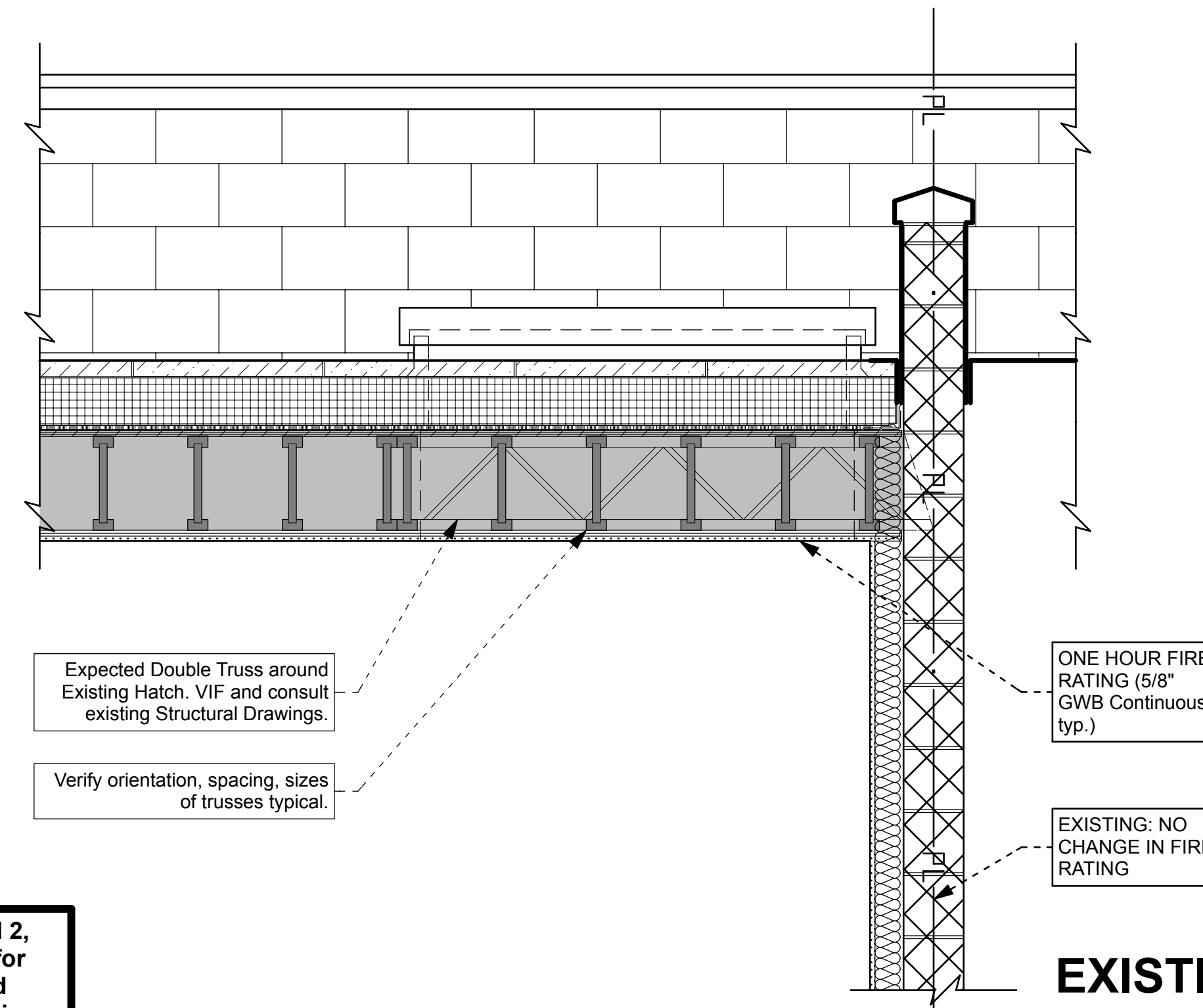
SHEET NUMBER
A-300.00

PAGE 11 OF 15 PAGES



See Detail 2, A-002.00 for Fire-Rated Construction Details

EXISTING

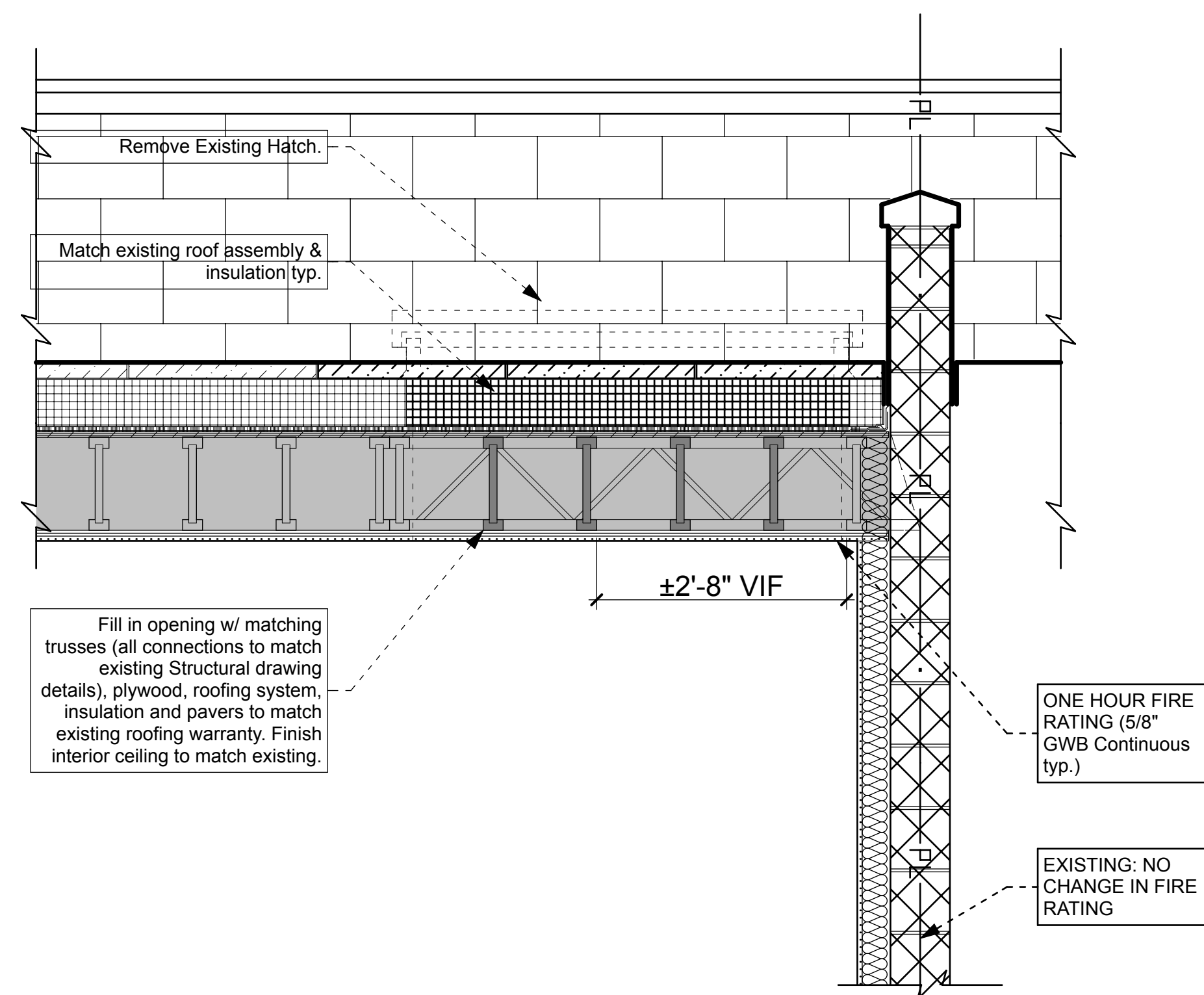


See Detail 2, A-002.00 for Fire-Rated Construction Details

EXISTING

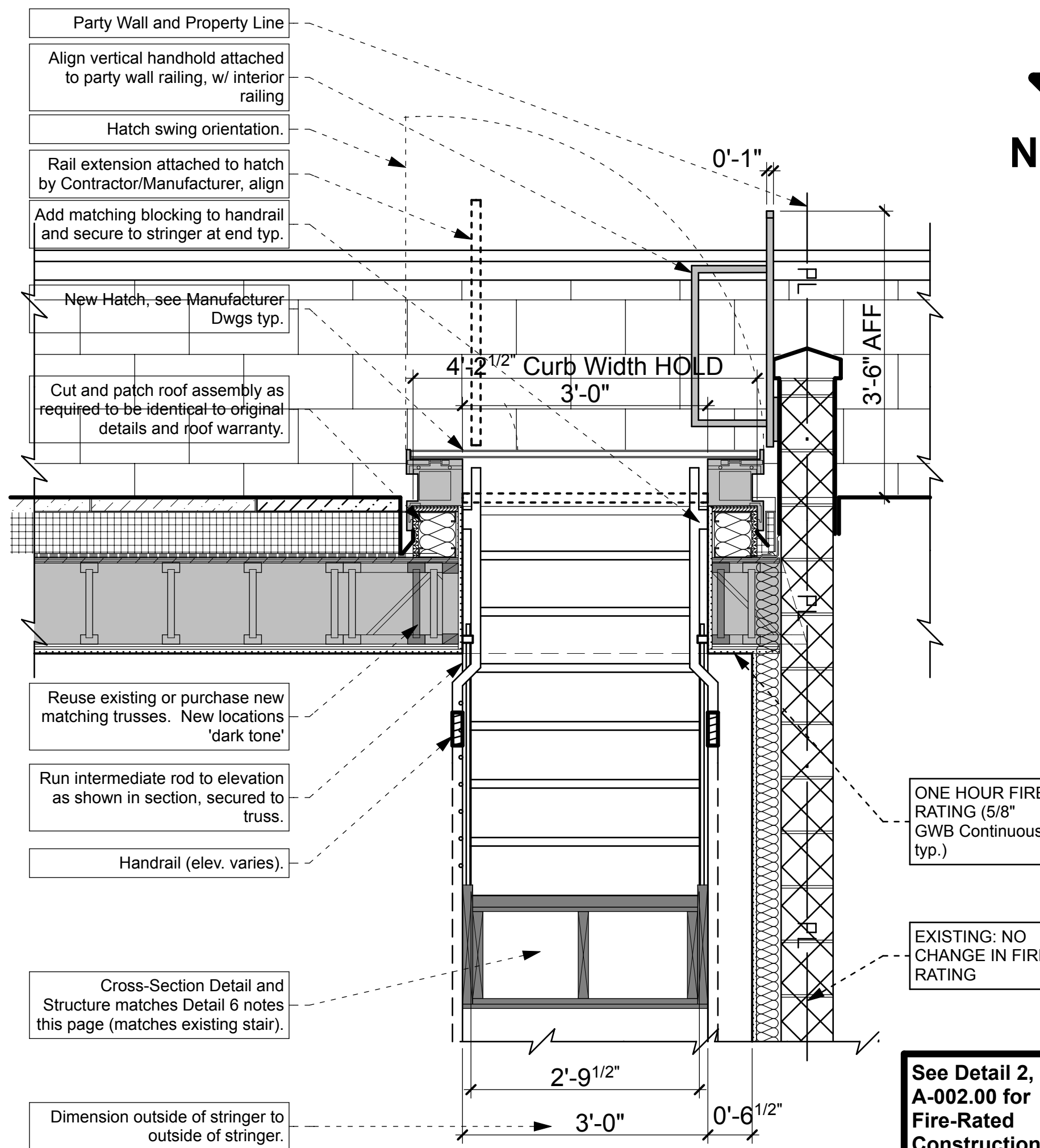
1 - EXISTING CROSS-SECTION at HATCH (for reference only). Verify Existing Conditions in Field (VIF)

3 - EXISTING CROSS-SECTION at PARTY WALL. Verify Existing Conditions in Field (VIF)



See Detail 2, A-002.00 for Fire-Rated Construction Details

NEW



See Detail 2, A-002.00 for Fire-Rated Construction Details

NEW

4 - NEW CROSS-SECTION at NEW HATCH LOCATION. Verify Existing Conditions in Field (VIF)

Drawing References for New Building DOB Set (so that this construction matches existing construction details):
Architect: Curtis + Ginsberg Architects LLP
Structural Engineer: Goldstein Assoc. Engineers
DOB Job Numbers: 320513397 & ES5674155

For Existing Hatch and Ship's Ladder Section and Cross-Section, see C1 & C2, A-401.00 of original CD set.

PROJECT NAME _____

PROJECT LOCATION _____

OWNER _____

PROJECT TEAM

ARCHITECT
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Nic Buccalo, Architect 718-488-7894
526 Prospect Avenue info@simpletwig.com
Brooklyn, NY 11215 www.SimpleTwig.com
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FILING REPRESENTATIVE _____

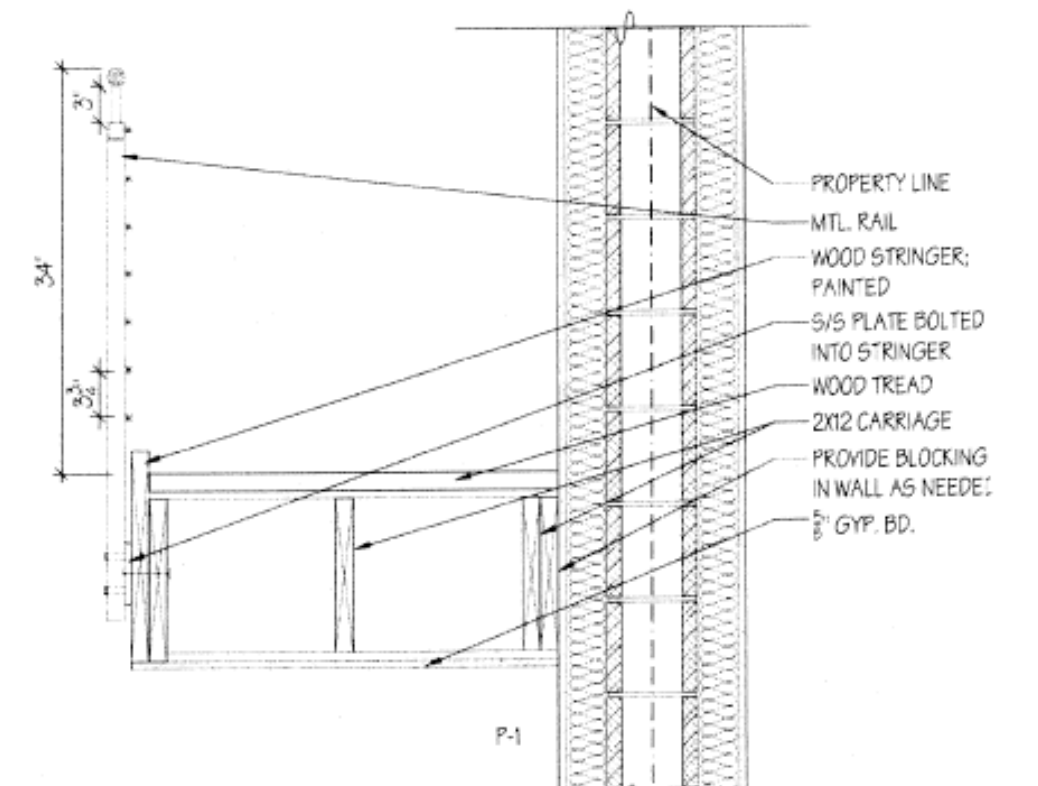
CONSULTANTS _____

5 - MISC. NOTES

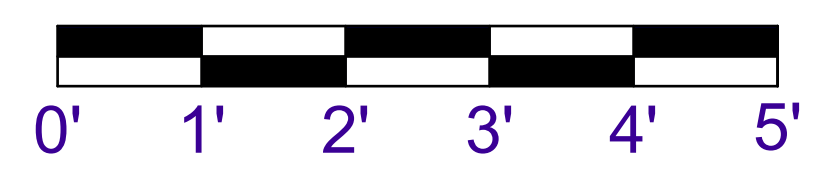
Drawing References for New Building DOB Set (so that this construction matches existing construction details):
Architect: Curtis + Ginsberg Architects LLP
Structural Engineer: Goldstein Assoc. Engineers
DOB Job Numbers: 320513397 & ES5674155

For Existing Cross-Section through Stair, See Detail A3, A-401.00 in original set. Match new stair with existing stair profile, materials and structure. See reference copy pasted below to compare between the existing section and new stair section:

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)



A3 SECTION THROUGH STAIR A-401.00 NTS



6 - EXISTING STAIR SECTION REFERENCE

SHEET DESCRIPTION / DRAWING TITLE
Ext'ng/Proposed
Existing and New Cross-Section Details at OLD/NEW Hatch Locations

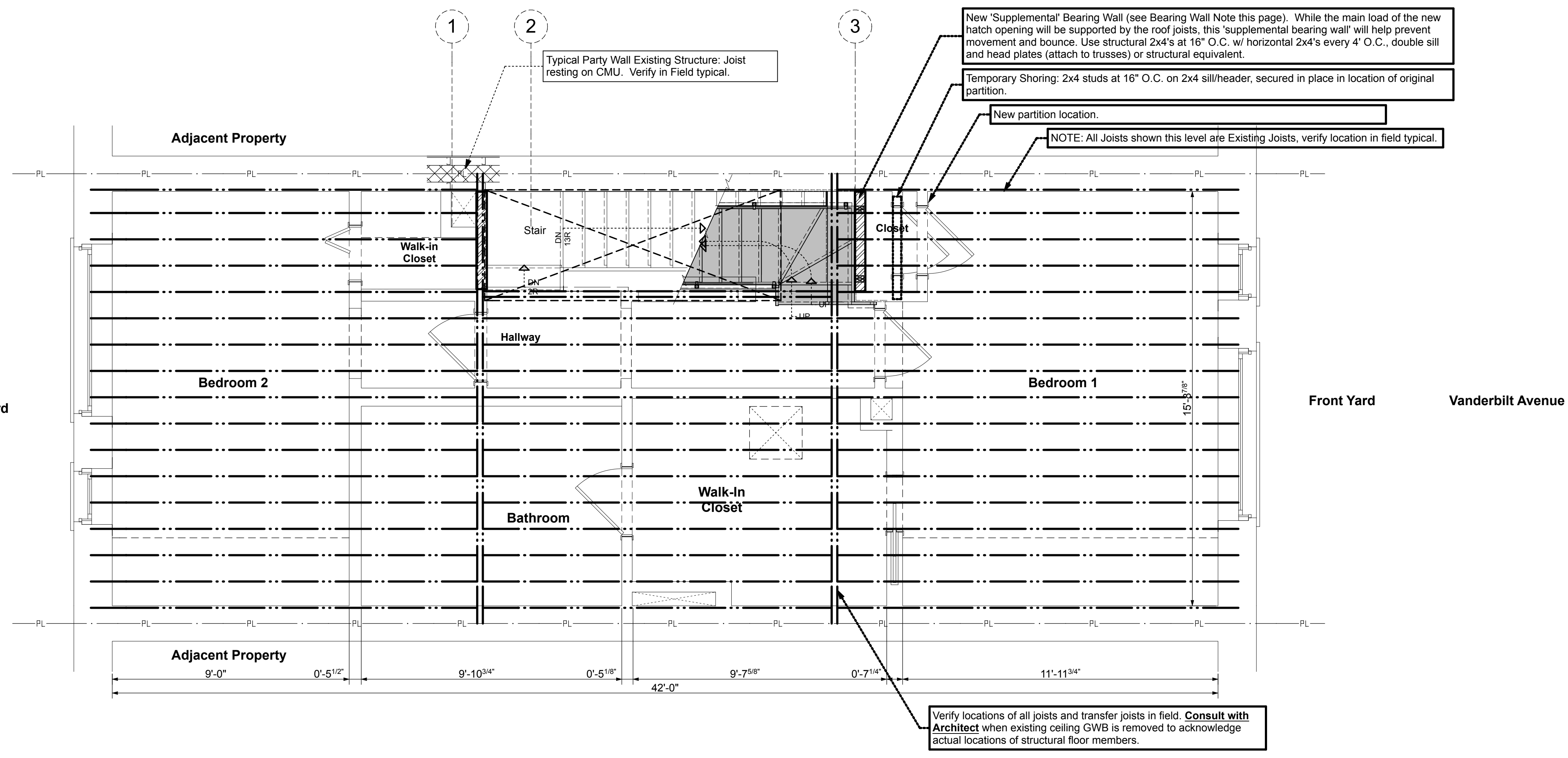
PROFESSIONAL SEAL / SIGNATURE _____

DRAWING SCALE
3/4" = 1'-0"

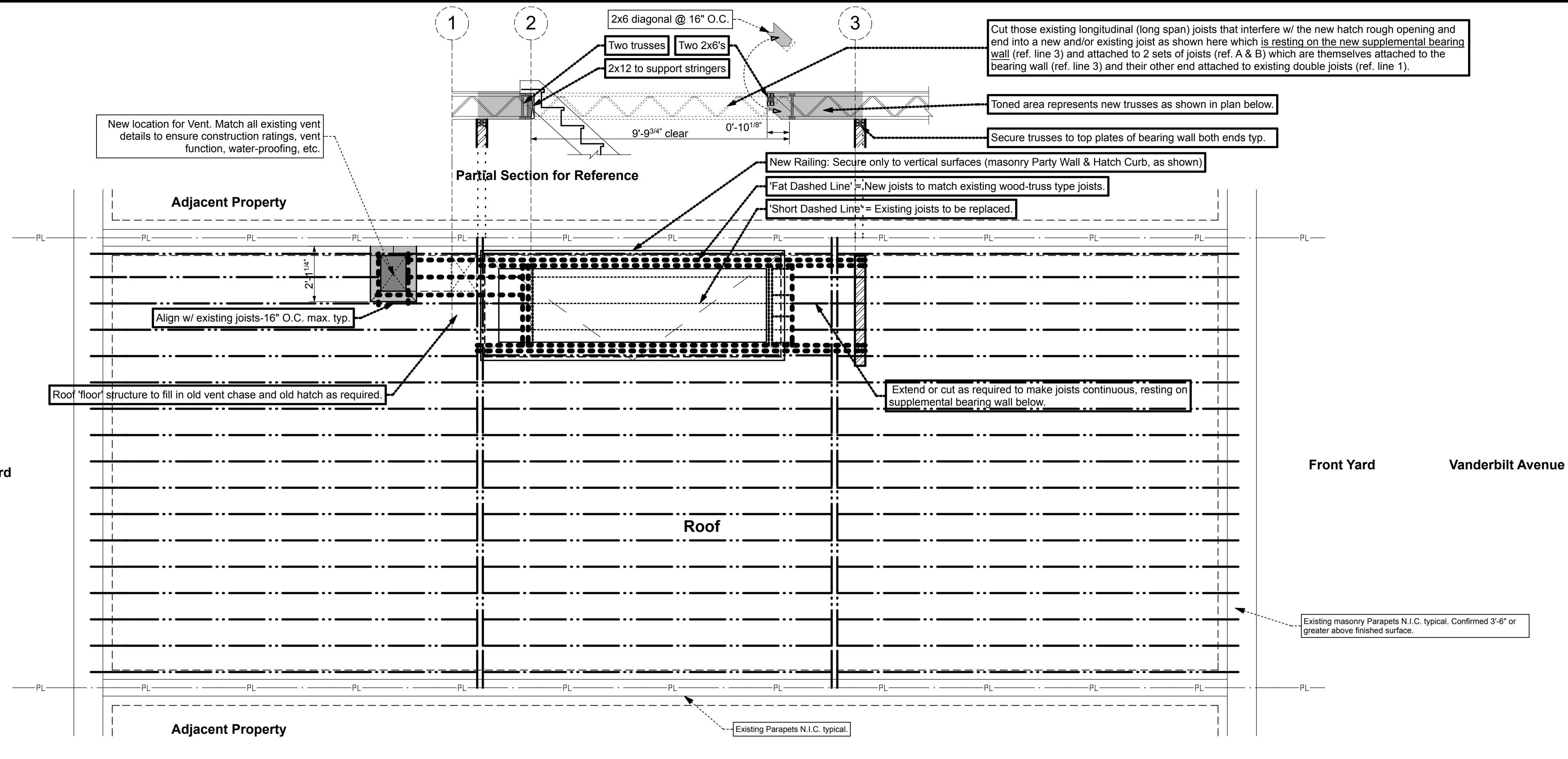
DRAWN BY / CHECKED BY
NB/NB

SHEET NUMBER
A-400.00

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1 - Third (3rd) Floor Plan - (Showing joists supporting floor) Verify All Dimensions And Conditions In Field (VIF)



2 - Roof Floor Plan - (Showing joists supporting floor) Verify All Dimensions And Conditions In Field (VIF)

LOADING SCHEDULE (PSF)										
LEVEL	OCCUPANCY	DEAD LOAD						LIVE LOAD	TOTAL	
		SLAB	STEEL	CLNG.	FIN.	PART.	RFG. & INSL.			
CELLAR	LOBBY/CORRIDOR	5' SLAB ON GRADE						65	40	105
ST. 2ND & 3RD FL.	LIVING ROOM	5	-	5	-	10	-	20	40	60
	BED ROOMS	5	-	5	-	10	-	20	30	50
ROOF	ROOF	5	-	5	-	-	15	25	30	55

NOTES: 1. EXTERIOR WALLS: 40 PSF BRICK VENEER.
 2. INTERIOR BEARING WALLS:
 A. 4" STUDS WALL: 10 PSF.
 B. 8" CMU WALL: 80 PSF.

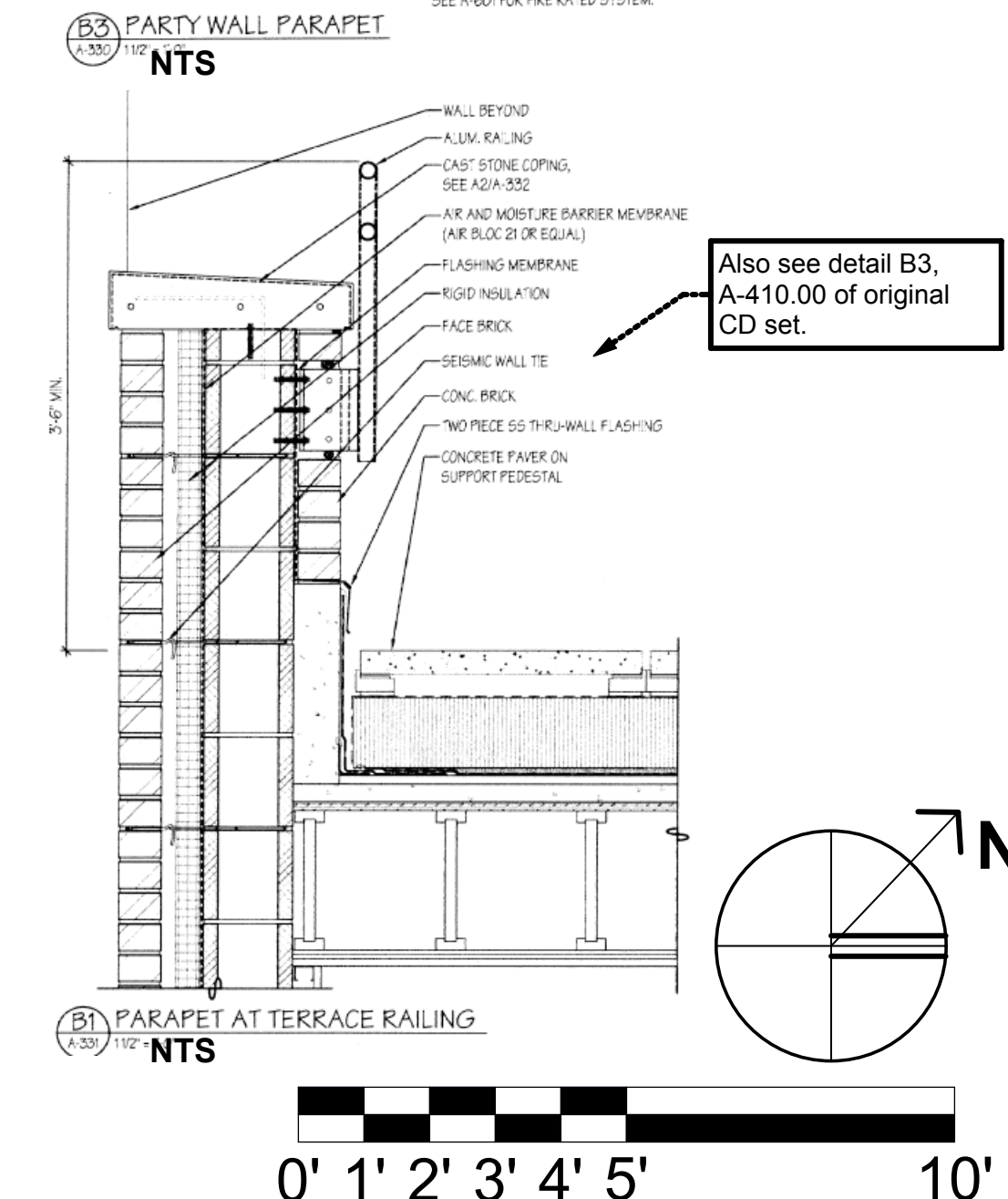
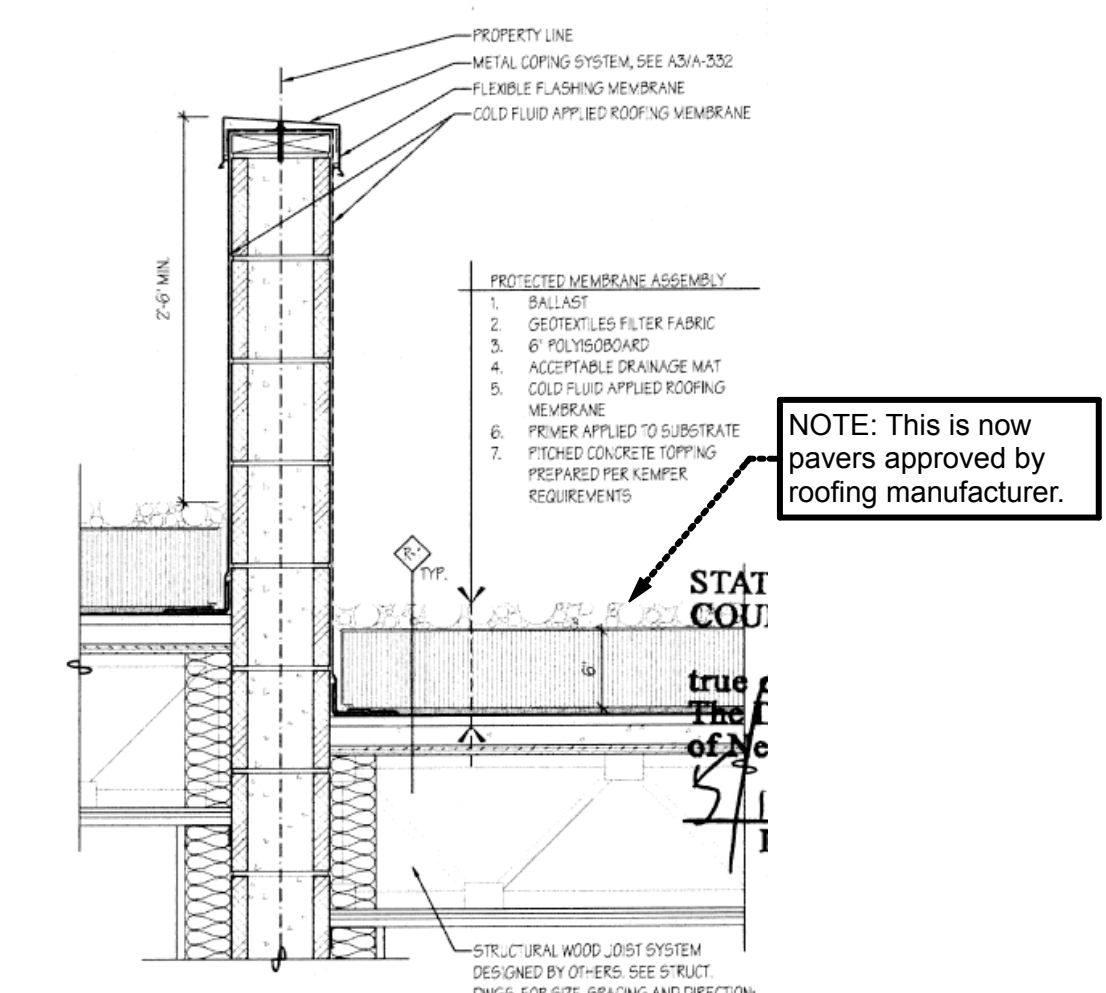
3A - NOTE: LOADING SCHEDULE FROM ORIGINAL SET OF BUILDING DRAWINGS, POSTED HERE FOR REFERENCE.

'Supplemental' Bearing Wall Note:
 The intent is to remove potential bounce or movement by bringing any excess load down to the 3rd floor structure. This is 'overbuilt' and does not represent a true bearing load which must transfer down to footings.

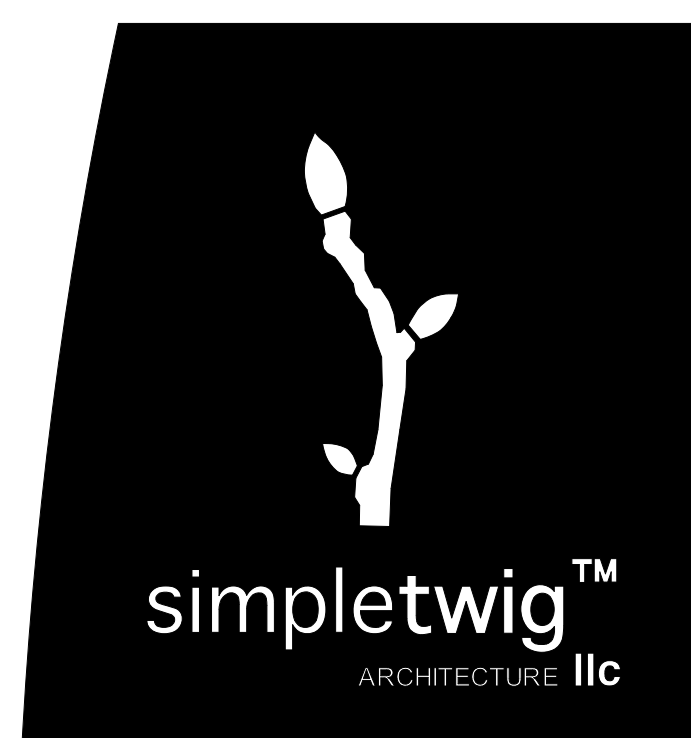
Supplemental Bearing Walls to be built like regular bearing walls: structural 2x4's at 16" O.C. w/ horizontal intermediates every 4' O.C. Studs to span from sub-flooring to underside of joists typ. Use double sill/head plates or equivalent.

Drawing References for New Building DOB Set (so that this construction matches existing construction details):
 Architect: Curtis + Ginsberg Architects LLP
 Structural Engineer: Goldstein Assoc. Engineers
 DOB Job Numbers: 320513397 & ES5674155

For Existing Joist Structure refer to S-101.01, and, Detail 4, S-201.00.
 For Existing Party Wall Parapet, see Detail B3, A-331.00 & B3, A-410.00
 For Railing at Parapet, see Detail B1, A-331.00 & B3, A-410.00
 For Existing Roof Hatch Opening, see C1, A-331.00
 Detail original drawing references see detail copies below:



3 - MISC. STRUCTURAL NOTES



PROJECT NAME
 PROJECT LOCATION
 OWNER

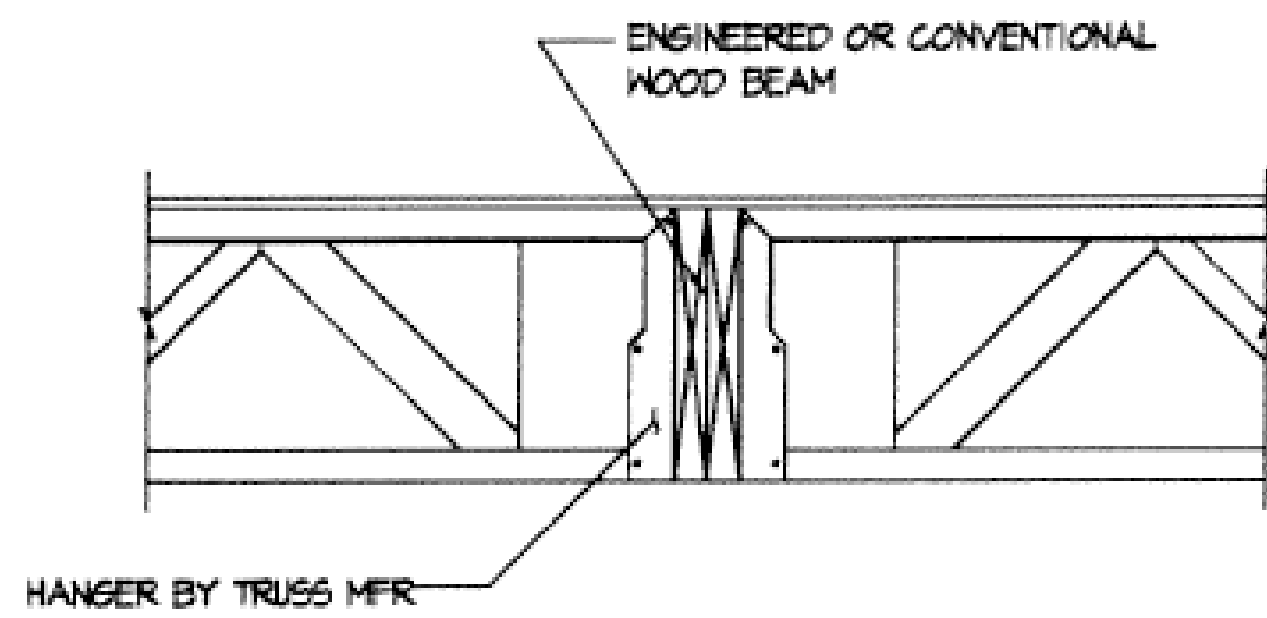
PROJECT TEAM
 ARCHITECT
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CONSULTANTS

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

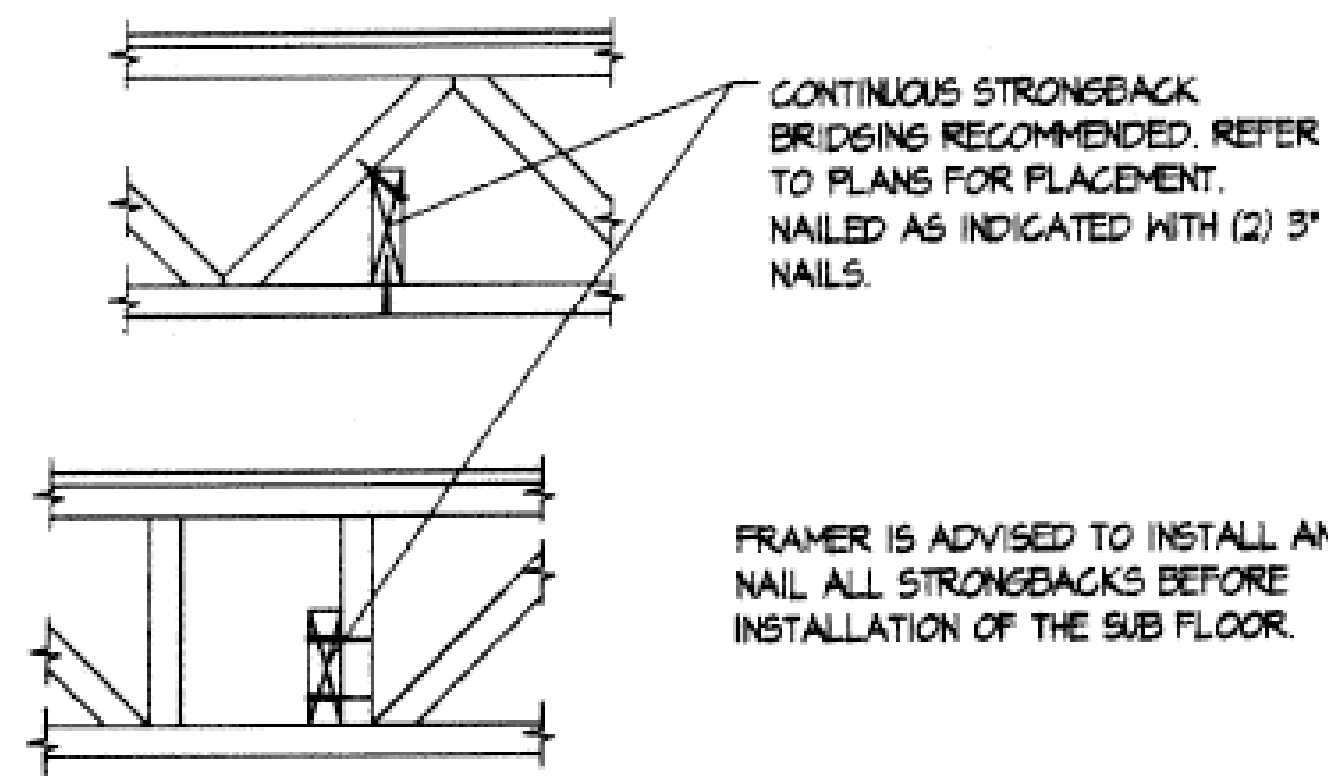
STRUCTURAL
 Third Floor Plan -
 Roof Floor Plan

PROFESSIONAL SEAL / SIGNATURE
 DRAWING SCALE: 3/8" = 1'-0"
 DRAWN BY / CHECKED BY: NB/NB
 SHEET NUMBER: S-100.00
 PAGE 13 OF 15 PAGES



1 JOIST TO WOOD BEAM WITH APPROPRIATE HANGER

N.T.S.



2 RECOMMENDED CONTINUOUS STRONGBACK BRIDGING

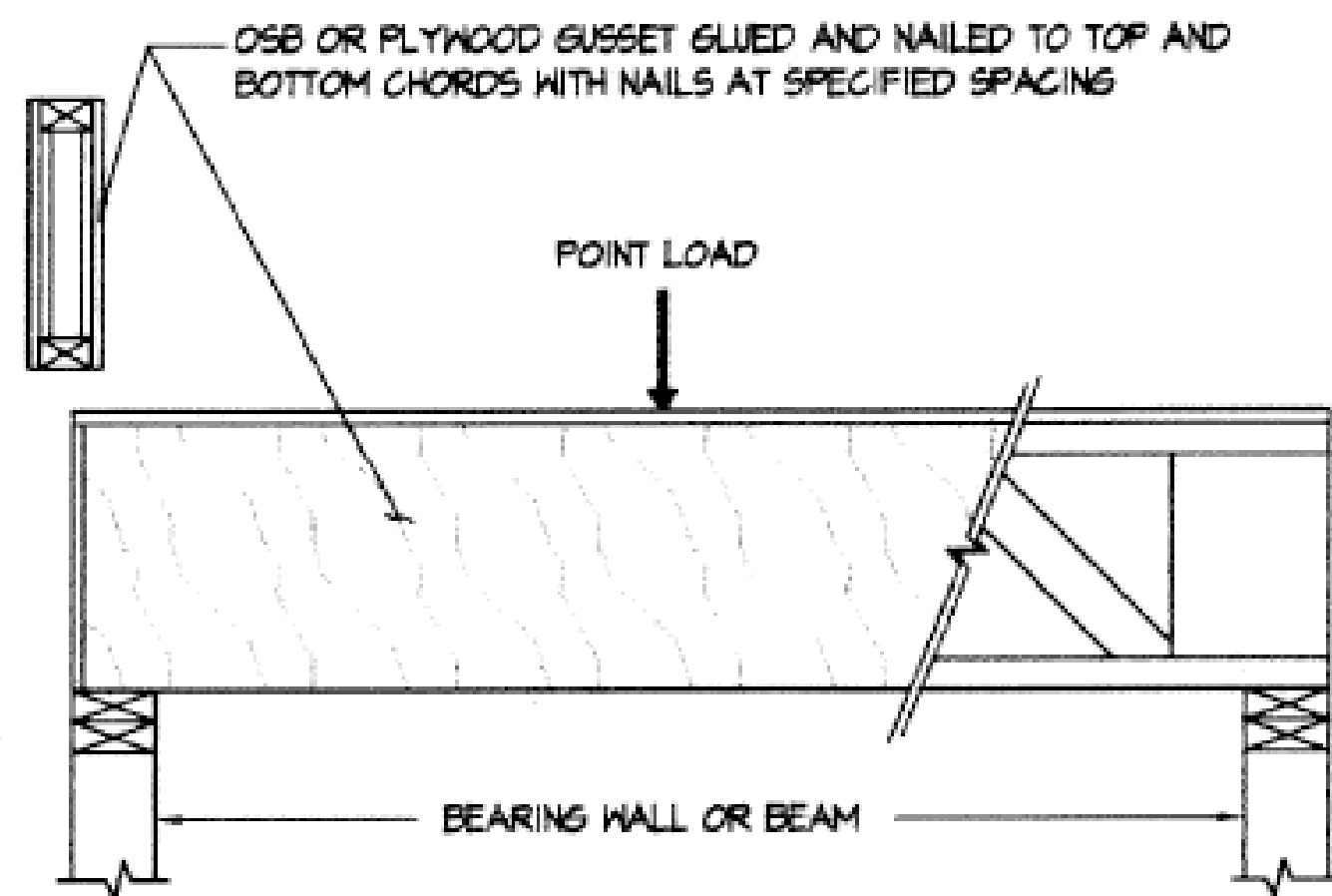
N.T.S.

9 1/4" JOISTS - 2X4 STRONGBACK II
 7/8" JOISTS - 2X4 STRONGBACK MIN.
 14" JOISTS - 2X6 STRONGBACK MIN.
 16" JOISTS - 2X6 STRONGBACK MIN.

NOTE: NOT REQUIRED

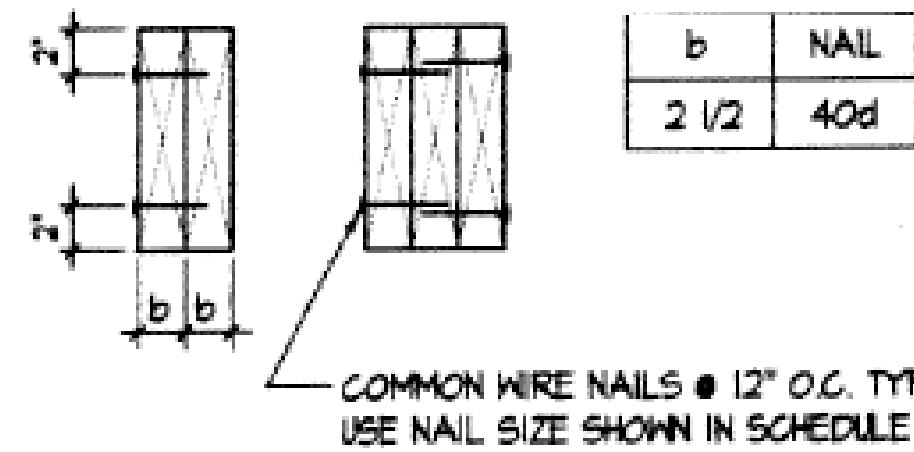
FRAMER IS ADVISED TO INSTALL AND NAIL ALL STRONGBACKS BEFORE INSTALLATION OF THE SUB FLOOR.

area intentionally left blank



5 REINFORCEMENT FOR POINT LOAD

N.T.S.



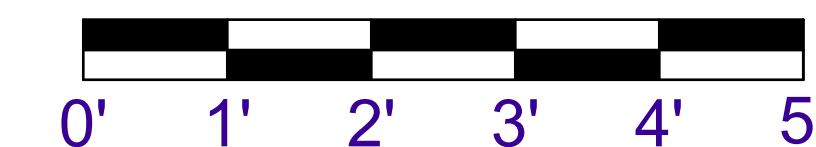
6 TYPICAL MULTIPLE MEMBER BEAMS

3/4" = 1'-0"

NOTE: FOR MEMBERS UP TO 9 1/2" PROVIDE 2 ROW OF NAILS. FOR MEMBERS GREATER THAN 9 1/2" DEEP PROVIDE 3 ROW OF NAILS. FOR BEAMS MORE THAN 4 MEMBERS OR TOTAL WIDTH 7" OR GREATER USE 1/2" DIA. THROUGH BOLTS

Drawing References for New Building DOB Set (so that this construction matches existing construction details):
 Architect: Curtis + Ginsberg Architects LLP
 Structural Engineer: Goldstein Assoc. Engineers
 DOB Job Numbers: 320513397 & ES5674155

For Existing Structural Joist connections, see S-003.00 of original CD set. The above diagram sections are for reference only to the original existing details and are copyright the Structural Engineer. They are provided here to drive home the point that all details are to match the existing construction means and methods, no exceptions.



PROJECT NAME _____
 PROJECT LOCATION _____
 OWNER _____

PROJECT TEAM

ARCHITECT
 SimpleTwig Architecture, LLC
 Nic Buccalo, Architect 718-488-7894
 526 Prospect Avenue info@simpletwig.com
 Brooklyn, NY 11215 www.SimpleTwig.com
every nest starts with a simple twig...

FILING REPRESENTATIVE _____

CONSULTANTS _____

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE
Structural
 Reference of original Joist Details and Connections, Misc.

PROFESSIONAL SEAL / SIGNATURE _____ DRAWING SCALE
 3/4" = 1'-0"

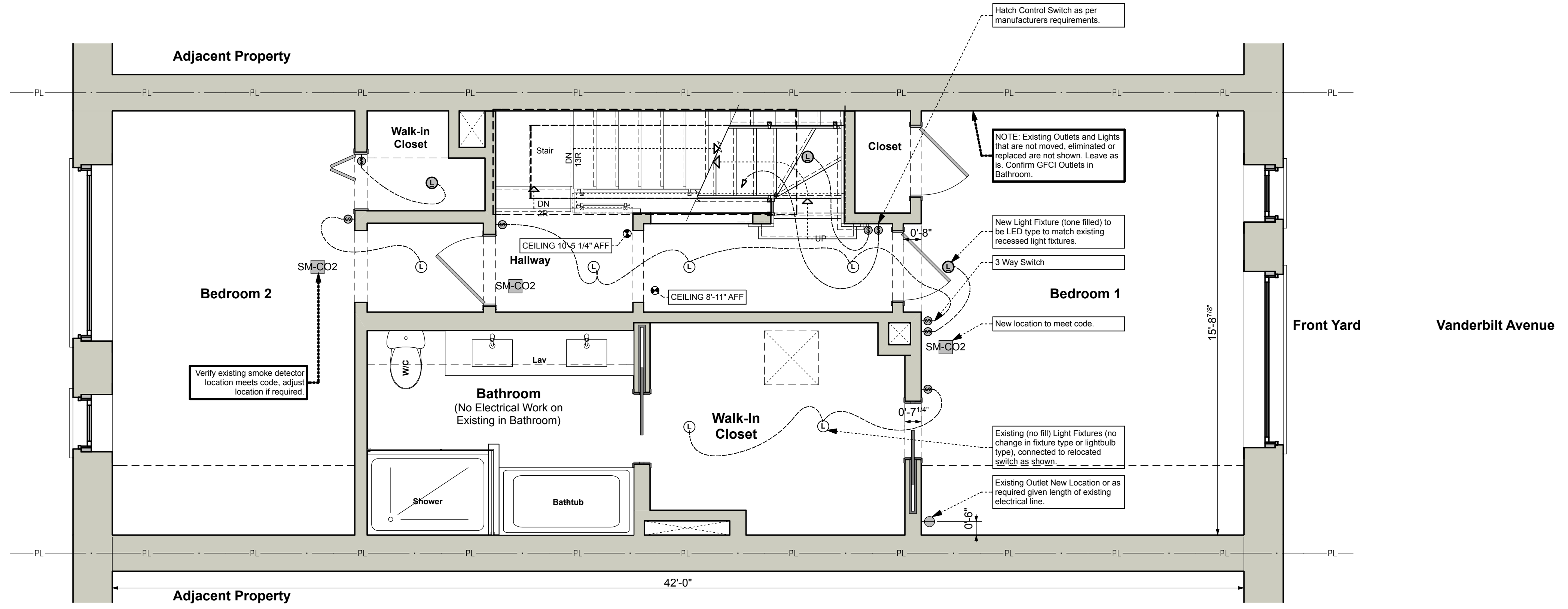
DRAWN BY / CHECKED BY
 NB/NB

SHEET NUMBER
S-101.00

PAGE 14 OF 15 PAGES

ELECTRICAL CONTRACTOR (also see Plumbing/Construction Dwg(s) for additional Notes):

- All Electrical work shall be performed by a licensed Electrical Contractor having jurisdiction over the work in the municipality where the project is located, thus licensed to perform work in NYC within the State of New York for projects in the City of New York, and shall comply with the latest edition of the National Electrical Code, Applicable State and Local Codes, Latest Amendments and Authorities having jurisdiction, and file all work separately.
- The Electrical Contractor shall file for Electrical Scope of Work and follow the Energy Conservation Code.
- The Electrical Contractor shall inspect the existing Amps for a building/project to ensure they are capable of meeting demand and if necessary make a proposal for upgrade including to service of the Unit(s) being renovated.
- The Electrical Contractor shall inspect any existing electrical within the job site and make safe if they notice a hazard.
- The Electrical Contractor shall provide work-site outlets and lighting for the Contractor as requested, but at a minimum one light/outlet for the Contractor every $\pm 15' \times 15'$ area. Where necessary or required the outlets shall be grounded.
- The Electrical Contractor is responsible for filing of forms, applications and getting all required inspections to close out the electrical aspect of the project legally, as required by the NYC Department of Buildings (DOB).
- Gas Piping Systems shall not be used for Electrical Ground.
- The Electrical Contractor shall inform adjoining tenants in writing 48 hours before any disruption of service due to the replacement or movement of a panel or any other work.
- Unless Noted Otherwise, the Electrical Contractor shall use LED type light bulbs and fixtures that are 'warm color light'. All 'cool' or 'blue' light bulbs shall be replaced to match new bulb color.
- Where dim-able light fixtures are requested, use an appropriate or specified light bulb and fixture, typically recessed. Ensure that no insulation touches fixture or comes within 4" of fixture(s) on all sides by providing and securing a metal baffle/barrier around the fixture above the ceiling.



Backyard

Front Yard

Vanderbilt Avenue

1 - LICENSED ELECTRICAL CONTRACTOR(S)

3 - NEW Third (3rd) Floor Plan - Verify All Dimensions And Conditions In Field (VIF)

Besides providing for switches, outlets, lighting, mechanical room equipment (including dehumidifier), appliances, bathroom fans/vents, etc. the following are reminders of other items required for this project:

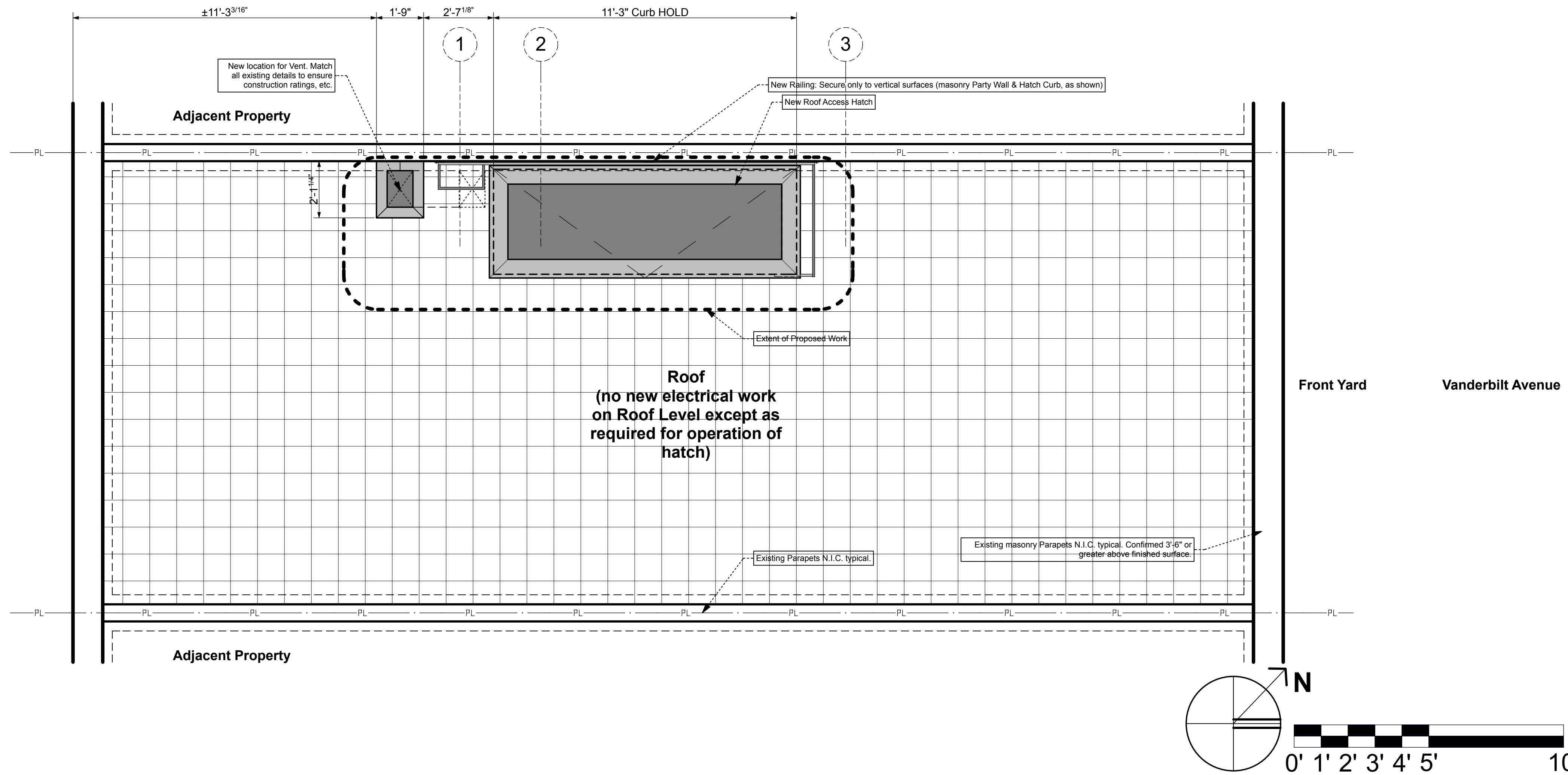
BASEMENT:

- Ensure Hatch Control Switch/Assembly has power, is connected and operable.

ELECTRICAL

For additional Electrical Notes, See Electrical Drawings if part of this project, otherwise refer to architectural drawings, these notes and other notes/drawings/attachments as applicable to this project. **SEE ECC (ENERGY CONSERVATION CODE) NOTES for additional requirements.**

- ELECTRICAL DEMOLITION:** If electrical is to be replaced or demo'd, ensure electricity is off before working, then remove all electrical items in the project area (including switches, outlets, lights, fans and all wiring), unless a lighting fixture is being reused. If existing electrical items are to remain in place, ensure that all fixtures, outlets, wiring and switches are in good working order and meet code, including circuit breakers. Replace any defective items including wiring or circuit breakers. One-family, one meter. No fuses are allowed, replace with a circuit breaker panel to meet code.
- OLD WIRES:** No 'old wiring' is expected since this is a new building built in 2015.
- CABLE & TELEPHONE:** Contractor to ensure any cable, co-axial or other service wires remain intact and functional.
- COORDINATION & MISC.:** Provide all connections required for switches, smoke detectors (hardwired w/ battery backup typical, see Smoke/Co2 notes), appliances, equipment, machines, outlets, including outdoor components, as required to complete all electrical work for the project.



Backyard

Front Yard

Vanderbilt Avenue

2 - PROJECT SPECIFIC NOTES

4 - NEW Roof Floor Plan - Verify All Dimensions And Conditions In Field (VIF)



PROJECT NAME

PROJECT LOCATION

OWNER

PROJECT TEAM

ARCHITECT

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 Brooklyn, NY 11215 www.SimpleTwig.com

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FILING REPRESENTATIVE

CONSULTANTS

Date	Description
Jan. 1, 2018	DOB Submission
	Revision 1 (xxx.01)
	Revision 2 (xxx.02)
	Revision 3 (xxx.03)
	Revision 4 (xxx.04)

SHEET DESCRIPTION / DRAWING TITLE

Electrical

Third Floor Plan - Roof Floor Plan

PROFESSIONAL SEAL / SIGNATURE

DRAWING SCALE
3/8" = 1'-0"

DRAWN BY / CHECKED BY
NB/NB

SHEET NUMBER
E-100.00

PAGE 15 OF 15 PAGES

BIND THIS SIDE

DEPARTMENT OF BUILDINGS